



ARLINGTON COUNTY, VIRGINIA

**County Board Agenda Item
Meeting of January 23, 2010**

DATE: January 14, 2010

SUBJECT: SP #390 SITE PLAN AMENDMENT for a Comprehensive Sign Plan for North Tract Lofts; premises known as 305 and 309 10th Street South (RPC #34-024-457).

Applicant:
North Tract Apartments, LLC

By:
Michael George, Agent
809 21st Street South
Arlington, Virginia 22202

C.M. RECOMMENDATION:

Approve the site plan amendment for a comprehensive sign plan, subject to all previous conditions and revised Condition #48.

ISSUES: The applicant requests approval of a site plan amendment for a comprehensive sign plan. No physical changes are proposed to the approved site plan, and there are no issues associated with the proposed site plan amendment.

SUMMARY: The applicant requests approval of a comprehensive sign plan that includes two (2) project identification signs – one (1) projecting directional sign and one (1) wall sign – that do not conform to the Arlington County Zoning Ordinance, Section 34 (*Nameplates, Signs, And Other Displays Or Devices To Direct, Identify, And Inform*). The comprehensive sign plan also includes two building address signs. Staff supports the applicant's comprehensive sign plan proposal, given the size of the residential buildings, the expanse of buildings along four (4) frontages/streets, the subtlety of the proposed signs' design, and the limited overall sign area. The proposal is in harmony with the development and the quality and detail of the project, and is consistent with the current sign guidelines. Therefore, staff recommends that the site plan amendment be approved, subject to all previous conditions and revised Condition #48 to address

County Manager: BMD/GA

County Attorney: CWM/KAM

Staff: Freida Wray, Planning Division, DCPHD

PLA- 5430

4.

the proposed signs and to delete language regarding directional signs to underground public parking spaces which staff determined would not be required with this project.

BACKGROUND: The subject property, a 2.12 acre site, is located on the southern edge of the North Tract area between 6th and 10th Streets South. On July 12, 2005, the County Board approved a Site Plan (SP #390) for the North Tract Lofts residential development. The approval included 184 dwelling units, with 15 affordable dwelling units. North Tract Lofts is currently under construction, nearing completion.

To the north: 6th Street South and Long Bridge Park.

To the west: Two parcels developed with a self storage facility and office building, and further west is South Ball Street. Across South Ball Street, the approved Monument View office and residential site plan.

To the east: North Tract Parcel C, a 1.26 acre County-owned parcel located contiguous to the railroad tracks.

To the south: 10^h Street South and the Gateway North Office Building, Water Park Towers Residential Building, and associated park.

- Zoning: The 2.12-acre site is zoned “C-O-1.5” Commercial Office Building, Hotel and Apartment District.
- Land Use: The General Land Use Plan designates the site as “Low” Office-Apartment-Hotel (1.5 FAR office; up to 72 units per acre for apartments; and up to 115 units per acre for hotels).
- Neighborhood: The site is located within the North Tract Area Plan Study area. There is no active civic association for this neighborhood.

DISCUSSION: The proposed project identification signs require County Board action for modification from Zoning Ordinance requirements. Section 34.F.3 of the Zoning Ordinance limits “building” identification signs to properties within the “R” and “RA” districts and does not address “project” identification signs in either “R” or “C” districts. This proposal would allow “project” identification signs for a residential project in a “C” district. Section 34.H allows for modifications of the sign regulations by site plan approval. The building address signs conform to Section 34 with regard to placement and size, and could otherwise be approved administratively.

The table below calculates the maximum allowable square footage of sign area permitted under the standards for signs within the North Tract Lofts project:

Building Length @ Private Street and Public Right-of-Way Frontages	Linear Feet Bldg 1 (305 S. 10th)	Linear Feet Bldg 2 (309 S. 10th)	TOTAL
10 th Street South	28'	140.65'	168.65'
6 th Street South	92.73'	-	92.73'
South Ball Street	-	58.52'	58.52'
Total Length at Public Right-of-Way Frontage			319.90'
Private Street	390.7'	47'	437.70'
Total Length at Private Street and Public Right-of-Way Frontages			757.60'

Based on the building length at the public right-of-way frontages, the maximum permitted sign area is 319.9 square feet. The applicant's comprehensive sign plan proposal is 77.6 square feet, which is well below the maximum allowable sign area.

The following table sets forth the details for the signs included in the proposed comprehensive sign plan for North Tract Lofts:

Text	Location	Sign Dimensions	Sign Area	Type/Materials/Colors	Top of Sign Height from Grade (ft)
NORTH TRACT LOFTS	Building 1 – 1 st Floor. Corner of S. 10 th St. and private street (main pedestrian entrance)	1' x 12'	12 sf	Non-illuminated painted acrylic letters and graphics flush mounted onto the wall. Black lettering with blue graphics.	10'
NORTH TRACT LOFTS APARTMENT HOMES	Building 2 – 4 th Floor. Corner of S. Ball and S. 10 th St. (rear of building)	3.5' x 15'	52.5 sf	Internally illuminated projecting sign. Aluminum construction with black lettering, blue graphics, & grey and brushed aluminum backgrounds.	35'
305	Building 1 – 2 nd Floor. Corner of S. 10 th St. and private street (main pedestrian entrance)	14.375" x 30"	2.8 sf	Acrylic flush mounted numbers painted black.	8'
309	Building 2 – 2 nd Floor. Corner of S. 10 th St. and private street (main pedestrian entrance)	14.375" x 30"	2.8 sf	Acrylic flush mounted numbers painted black.	8'
TOTAL S.F.			70.1 sf		

1. Project Identification Wall Sign: One (1) wall sign is proposed, consisting of 12 square feet of sign area. It would be located above the principal pedestrian entrance of Building 1 (305 S. 10th), which is also the entrance to the project's leasing office, adjacent to the 10th Street South cul-de-sac at the intersection with the private street. The proposed sign would consist of acrylic letters painted black and graphics painted blue, flush mounted onto the building wall. The top of the sign would be 10' from grade. The sign would read, "NORTH TRACT LOFTS", and would not be illuminated.
2. Projecting Directional Project Identification Sign: One (1) projecting sign is proposed, consisting of 52.5 square feet of sign area, to be located on the northwest corner of Building 2 (309 S. 10th) at the intersection of 10th Street South and South Ball Street, on

the building's rear wall. The proposed sign would be an internally illuminated sign, with black push-through acrylic letters and blue matte finish vinyl graphics on gray and brushed aluminum clad faces. The bottom of the sign would be located 20 feet above finished grade and the top of the sign would be no more than 35 feet above finished grade. It would project 42" from the building wall. The sign would read "NORTH TRACT LOFTS APARTMENT HOMES".

The proposed signs are high-quality, subtle, and would complement the development's two buildings. The projecting sign on Building 2, in particular, would improve visibility for pedestrians and vehicles travelling along South Ball Street and 10th Street South, in what is currently an industrial area on the northern edge of Crystal City. When the Monument View Site Plan is constructed across South Ball Street from North Tract Lofts, the office building will be situated at the corner of South Ball and 10th Streets, directly across from the proposed projecting sign. The residential component of Monument View is oriented toward South Ball and 6th Streets, and therefore would not be adversely impacted by the proposed projecting sign. The projecting sign is consistent with Section 34.D.1. of the Zoning Ordinance for placement and with projecting signs that have previously been approved in other areas of the County, such as the Camden in Potomac Yards, 1800 Wilson in Rosslyn, and the Halstead on Columbia Pike.

Staff recommends that Condition #48 be amended to address the proposed signs and to delete language regarding directional signage to underground public parking spaces. This language is no longer applicable since, pursuant to Condition #75.b.(2) of the site plan, underground public parking spaces are not required. The applicant made a financial contribution of \$650,000 towards North Tract park improvements in lieu of provision of underground public parking spaces.

CONCLUSION: Staff supports the applicant's requested comprehensive sign plan for the North Tract Lofts residential development. The proposed comprehensive sign plan is consistent with the current sign guidelines. Therefore, staff recommends that the County Board approve the site plan amendment for the comprehensive sign plan, subject to all previous conditions but with the following amended Condition #48.

48. The developer agrees to develop and submit a comprehensive sign plan and that all exterior signs (including identification and directional signage) shall be consistent with the guidelines contained in "Sign Guidelines for Site Plan Buildings" and with Section 34 of the Zoning Ordinance. The Zoning Administrator shall determine whether the signs meet the standards of the guidelines and the Ordinance. No sign permits will be issued until a comprehensive sign plan is approved. The comprehensive sign plan shall be approved before the issuance of the first Certificate of Occupancy. All proposed rooftop signs, defined as all signs that are 35 feet or more above the ground, shall require a site plan approval or amendment. Rooftop signs shall not directly face a residential neighborhood, the George Washington Parkway or the North Tract Park. ~~If the County determines that underground public parking spaces shall be provided on site, consistent with Condition #75.b. below, then the comprehensive sign plan shall include signage directing the public to the public parking spaces.~~

The developer further agrees that the signs shall be of the same materials, dimensions, text, and location as shown on the Comprehensive Sign Plan for North Tract Lofts, dated February 5, 2009, and last revised on January 13, 2010, by DeNyse Signs and presented to and approved by site plan amendment by the County Board on January 23, 2010. Minor changes to the approved signs may be approved administratively by the Zoning Administrator. For the purposes of the preceding sentence, minor changes shall include only the following: (i) a minor adjustment in the location of the sign to meet field conditions (less than 1 foot in any direction); or (ii) a minor change in the area of the sign (less than 5%), as long as the total allowable sign area for the entire Comprehensive Sign Plan does not exceed 71 square feet; or (iii) a change in the name of the tenant on the sign, where the lettering area does not increase in size. All other changes to the approved signs will require site plan approval or amendment.

PREVIOUS COUNTY BOARD ACTIONS:

- | | |
|------------------|---|
| October 21, 2000 | Adopted General Land Use Plan Amendment indicating “Low” Office-Apartment-Hotel for the block south of 6 th Street South, including the subject site. |
| July 12, 2005 | Adopted resolution to approve a rezoning from “M-2” to “C-O-1.5”.
Approved a site plan for two residential buildings containing 184 units, including fifteen affordable dwelling units, subject to conditions. |
| January 21, 2006 | Approved a Fire Separation Agreement between Ameriton Properties, Inc. and the County Board to permit construction of certain buildings, consistent with SP #390, adjacent to County property known as Parcel 15, Potomac Yard. |
| July 14, 2009 | Approved a site plan amendment to revise Conditions #6 and #67, to address pedestrian access through the site during construction, and to modify the timing of public use and/or access easements, respectively, subject to amended conditions. |

General Electrical Notes and Specifications

Max Sign Area Allowed: XX
 Design Area: 32 Sq Ft
 Application: entrance
 Service and Installation Access: thru access panel
 FINAL ELECTRICAL HOOK UP BY OTHERS
 Electrical Requirements: 120 volt 60 HZ
 Connection Type: permanent continuous operation
 One (1) 20 Amp Dedicated Branch Circuit(s) w/ ground bonding wire
 back to panel box required for proper operation of GFI equipped
 installations.
 Max Line Current: 10A / conduct size: 12'
 Max Line Voltage: 120V
 Designed Wind Load: 100 mph

Inspected and labeled in accordance with UL Standard for Electric Signs installed using UL listed parts and methods of installation in accordance with Article 600 of the National Electric Code and other applicable local codes. This includes proper grounding and bonding.



This lighted product may contain Fluorescent, Neon, HID or other components that use Mercury in them. Dispose of these signs & components according to the laws of the authority having jurisdiction.

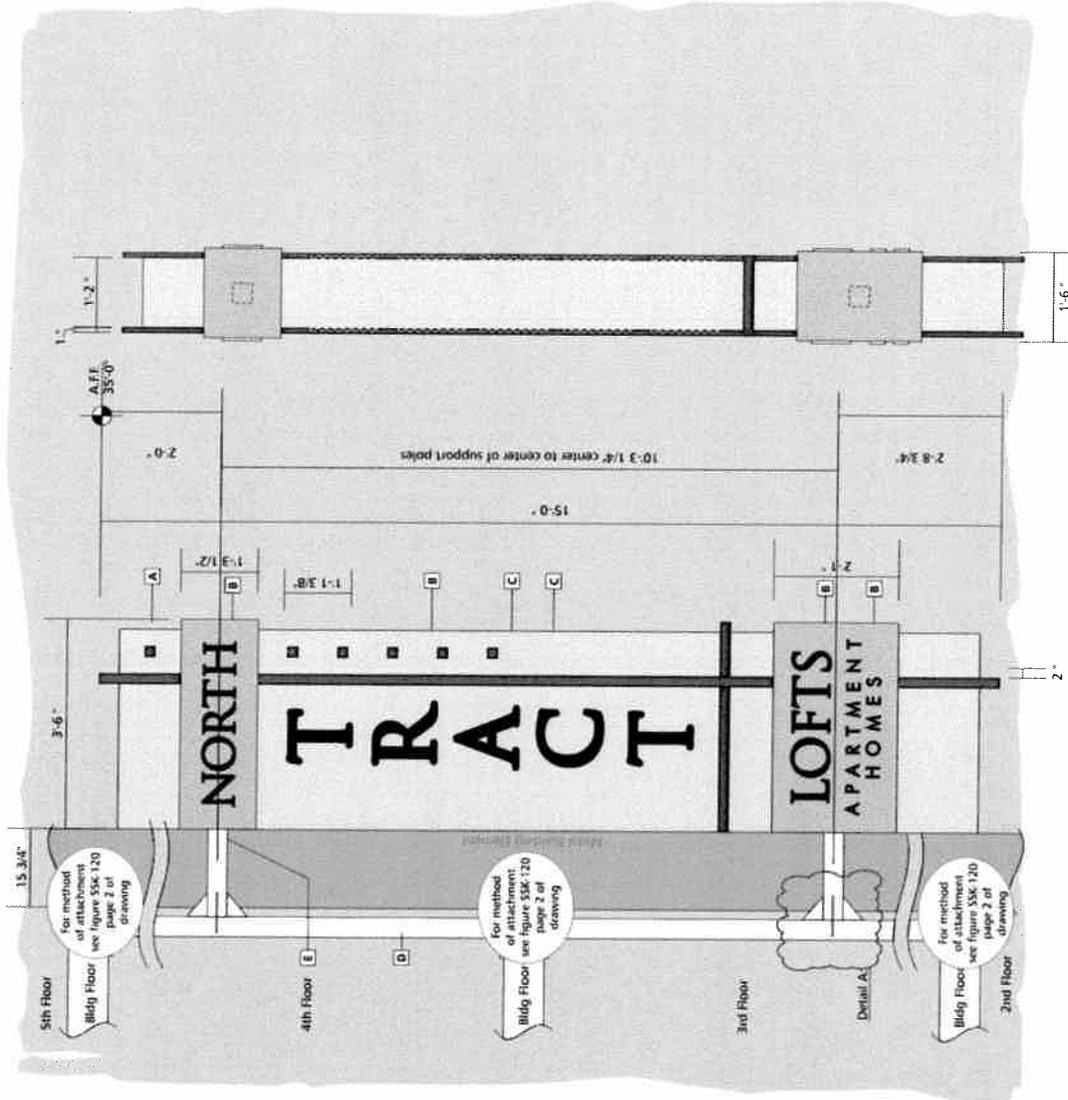
Colors & Finishes

Colors shown here may not exactly match manufacturer's color chart. Swatch or color samples should be provided to manufacturer for custom color prior to production or approval. DENEYE color samples or color specifications.

- C-1 Black
- C-2 Matthews Brushed Aluminum
- C-3 PMS 2747 Troak Tenside Blue
- C-4 PMS Cool Grey 4

Construction Specifications

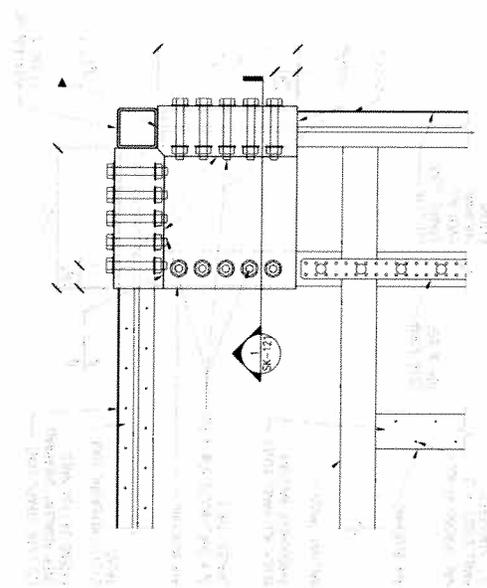
- Disconnect switch(es) UL & ID labels
- Vent - 2" Dia. Louvered
- Aluminum construction internally illuminated with high output fluorescent tubing.
- Routed and sub Thru acrylic letters First surface matte finish vinyl graphics.
- 1" x 2" painted aluminum tubing accents
- 4" x 4" Steel tubing with 3/8" walls, 4" x 1/4" steel gusset plates. Welded
- 4" x 4" Steel tubing with 3/8" walls. Welded to steel tubing existing within wall to be determined
- 4" x 8" x 1/4" side plate



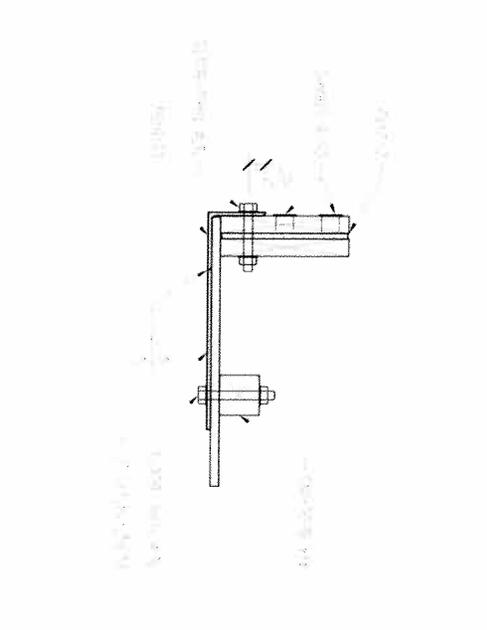
Design Intent Only - this design and any pricing for it is based on pre-engineered specifications and is pending approval from the authority having jurisdiction.

Double Sided Blade Sign
 Scale: 1/2" = 1'-0"

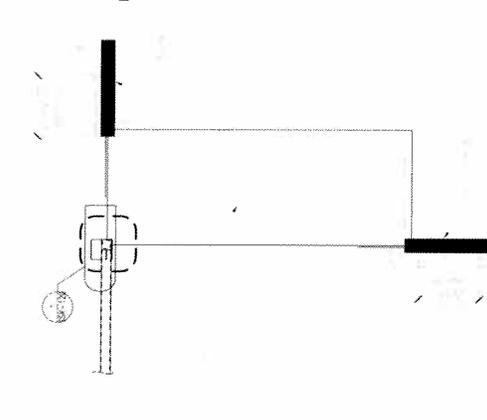
<p>DENEYE SIGNS Springfield Chantilly Chantilly 1.800.341.7446 www.denyesigns.com</p>		<p>Management Company WPM Property Name & Address North Tract Lofts Arlington, VA</p>		<p>Revision Date 5.6.2009 12:02:30.09 4.27.2009 11:12:20.10 2.24.2009 4.13.2009</p>		<p>Customer Approval Design Time 15.5 Mileage Hours @ Blade 1 x 2' prod 4.5</p>		<p>Page 1</p>
<p>5th Floor</p>		<p>4th Floor</p>		<p>3rd Floor</p>		<p>2nd Floor</p>		
<p>15 3/4"</p>		<p>3'-6"</p>		<p>15'-0"</p>		<p>10'-3 1/4"</p>		
<p>1'-2"</p>		<p>2'-0"</p>		<p>1'-3 1/2"</p>		<p>1'-3 1/2"</p>		
<p>1'-6"</p>		<p>2'-8 3/4"</p>		<p>2"</p>		<p>2"</p>		
<p>15 3/4"</p>		<p>3'-6"</p>		<p>15'-0"</p>		<p>10'-3 1/4"</p>		
<p>1'-2"</p>		<p>2'-0"</p>		<p>1'-3 1/2"</p>		<p>1'-3 1/2"</p>		
<p>1'-6"</p>		<p>2'-8 3/4"</p>		<p>2"</p>		<p>2"</p>		
<p>15 3/4"</p>		<p>3'-6"</p>		<p>15'-0"</p>		<p>10'-3 1/4"</p>		
<p>1'-2"</p>		<p>2'-0"</p>		<p>1'-3 1/2"</p>		<p>1'-3 1/2"</p>		
<p>1'-6"</p>		<p>2'-8 3/4"</p>		<p>2"</p>		<p>2"</p>		



1 DETAIL FOR SIGN ATTACHMENT
SSK-120 SCALE: 1-1/2" = 1'-0" LVL 2 THRU 5, SW CORNER, BLDG 400

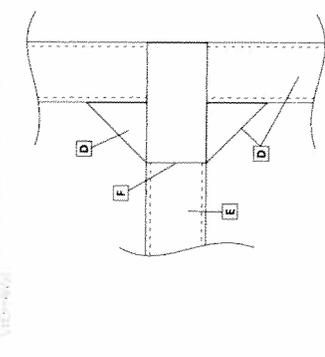


1 SECTION
SSK-121 SCALE: 1-1/2" = 1'-0"

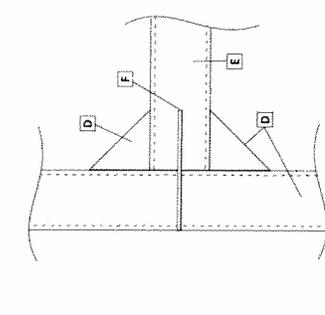


1 EXTENT OF BLOCKING
SSK-129 SCALE: 1/4" = 1'-0"

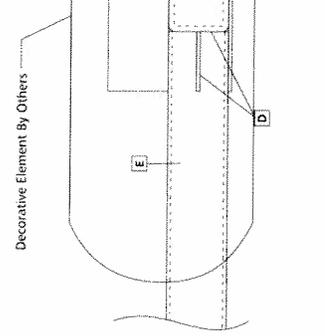
Mounting Option 1



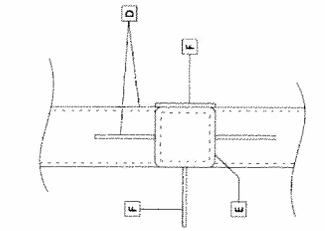
Left Side View Attachment Detail A
Scale: 1 1/2" = 1'-0"



Right Side View Attachment Detail B
Scale: 1 1/2" = 1'-0"

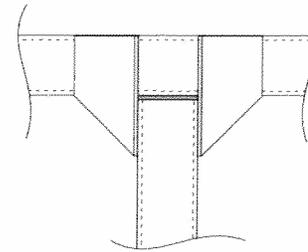


Plan View Attachment Detail C
Scale: 1 1/2" = 1'-0"

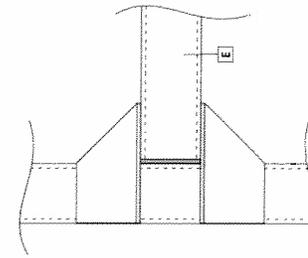


Front View Attachment Detail D
Scale: 1 1/2" = 1'-0"

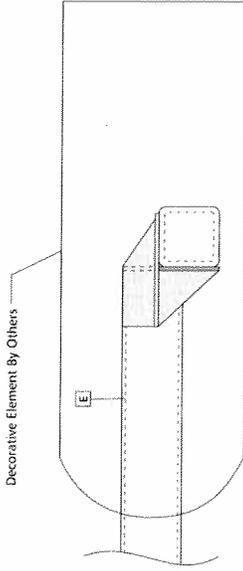
Mounting Option 2



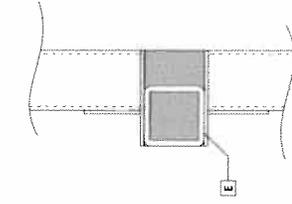
Weld Gussets and Side Plates
Left Side View Attachment Detail A
 Scale: 1/4" = 1'-0"



Weld Gussets and Side Plates
Right Side View Attachment Detail B
 Scale: 1/4" = 1'-0"



Decorative Element By Others
Plan View Attachment Detail C
 Scale: 1/2" = 1'-0"



Front View Attachment Detail D
 Scale: 1/2" = 1'-0"

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Management Company
 WBLA
 Property Name & Address
 North Tract Left
 Arlington, VA

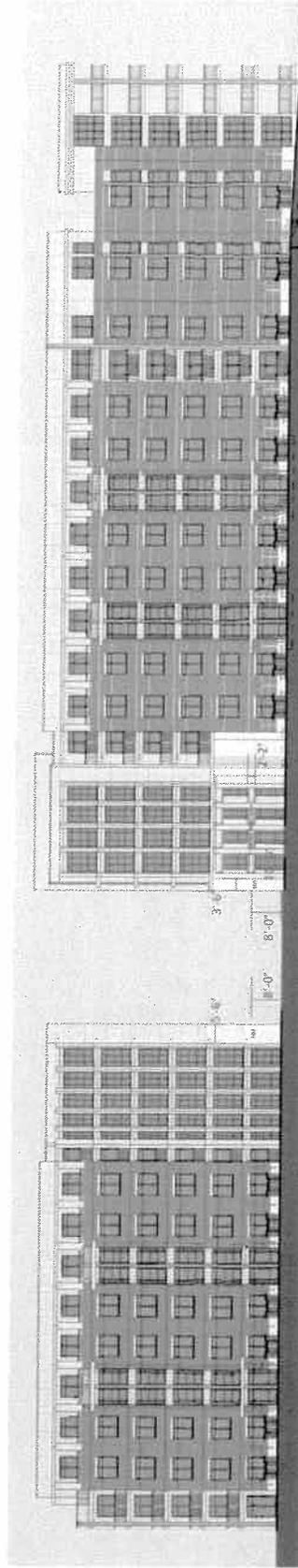
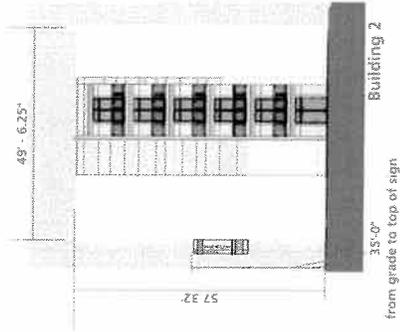
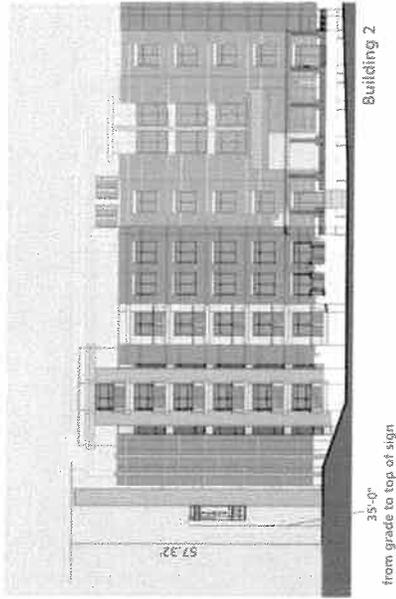
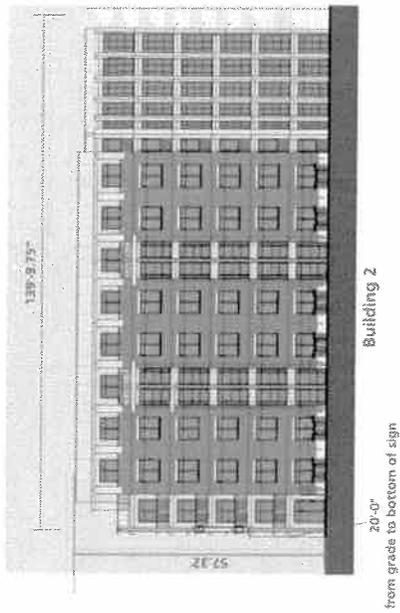
Bill Number
 42170
Project Manager
 Josh Whitfield
Designer
 VT

Date
 2/5/2009
Revision Data
 1.1 2/08/09/CT
 2.0 2/18/09
 3.0 4/13/09
 4.0 4/13/09
 5.0 6/9/2009

Customer Approval
Design Time
 15.5
File Name
 Main.dwg Plate 1 of prod.v5

Profile view (Demonstrating pedestrian perspective)
 --shows entire property; building 1 is shown
in front of building 2 here:

View of Building 2 from opposite side of street:



Building 2 20'-0" from grade to bottom of sign
 Building 2 35'-0" from grade to top of sign
 Building 1 8'-0" from grade to the top of the address numbers
 Building 1 10'-0" from grade to the top of the wall letters
 Address and Wall Letters
 Elevations
 Scale: 1/32" = 1'-0"

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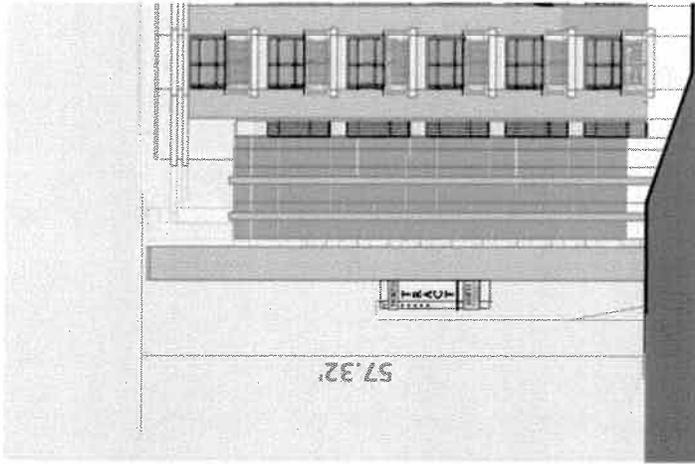
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Management Company WRM	Bid Number 42170	Date 2.5.2009	Customer Approval
Property Name & Address North Tract Lots Arlington, VA	Project Manager Josh Winfield	Revision Date 11.2009(C) 2.4.2009 4.15.2009	Design Time 15.5
	Designer VT	Revision 5	Filename Main of Blade 1-27 prod.v5

Concept
Preliminary
Schematic Design
Final Design
Construction Documents

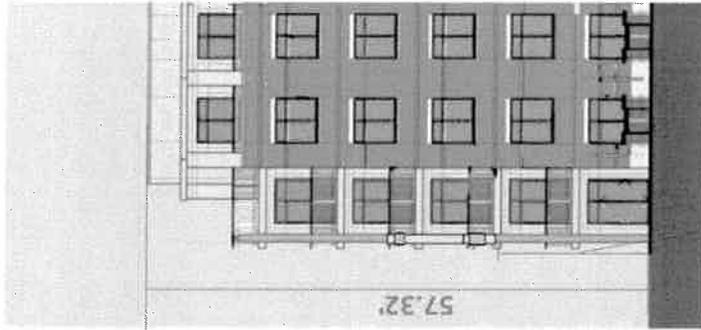
Page **4**

Profile view (Demonstrating car perspective)
 --shows entire property; Building 1 is shown
 in front of building 2 here:

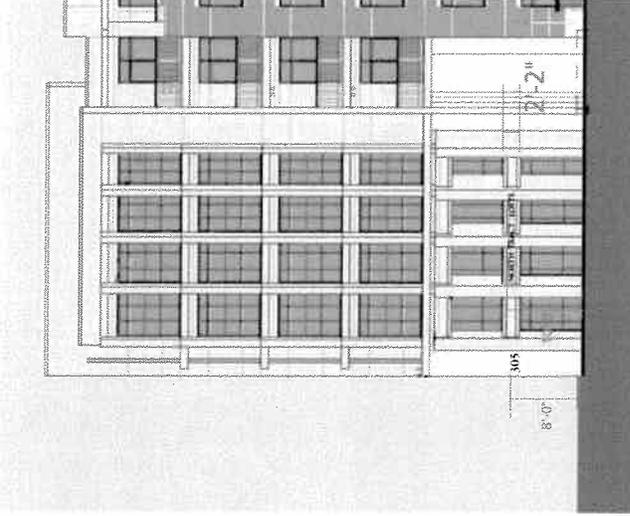


Building 2
 35'-0"
 from grade to top of sign

View of Building 2 from opposite side of street



Building 2
 20'-0"
 from grade to bottom of sign



8'-0" from grade to the top
 of the address numbers
 10'-0" from grade to the top
 of the wall sign
 Building 1
 Address and Wall Letters

Elevations
 Scale: 1/16" = 1'-0"

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Management Company
 WSM
Property Name & Address
 North Tract Commons
 Arlington, VA

Roll Number
 42170
Project Manager
 John Whitfield
Designer
 VT

Date
 2.15.2009
Revision Date
 02.11.2009(JCI)
 2.24.2009
 4.13.2009

Customer Approval

Design Time	5.6.2009	12.31.09
15.3	5.13.2009	1.13.2010
Filltime	6.4.2009	
	6.9.2009	

Sheet ID: Bldg 1, 2, 3 prod v5

Approval Status

Concept

Preliminary

Agency Approved

Final/Sign

Change Order

Page

5

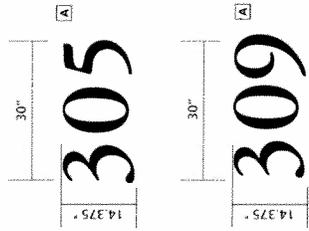
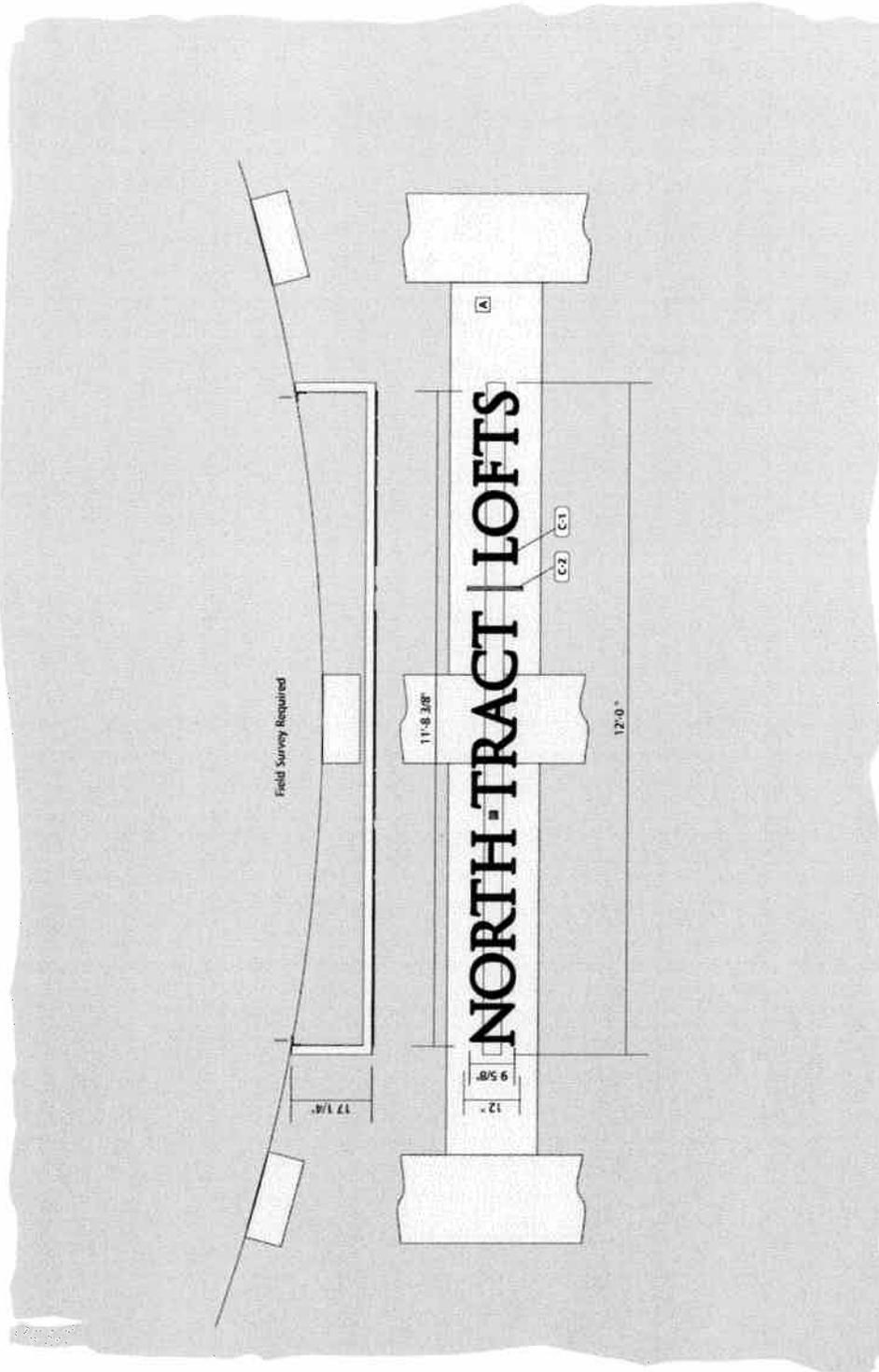
Colors & Finishes

Colors shown here may not exactly match manufacturers color chart swatch or color name. Please refer to manufacturer's color chart for exact color names prior to production or approve DeNybe color samples or color specifications.

- C-1 Black
- C-2 PMS 2747 Tirols Tenende Blue

Construction Specifications

- A 25' (1/4") painted acrylic letters flush mounted to a 2" x 4" Rail
- B 25' (1/4") painted acrylic letters flush mounted to wall.



Design Intent Only - this design and any pricing for it is based on pre-engineered specifications and is pending approval from the authority having jurisdiction.

Acrylic Letters
Scale: 1/2" = 1'-0"

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Page: **6**

Design: []
Production: []
Approval: []
Change Order: []

Management Company	Field Number	Date	Customer Approval
WBM Property Name & Address North Tract Lofts Attagooh, VA	42170 Project Manager Josh Whitchell Designer VT	2.5.2009 Revision Date 02.11.2009(JC) 04.24.2009 4.13.2009	Design Time 15.5 Phase Main 01 Blade 1, 2, 3 and 4/5
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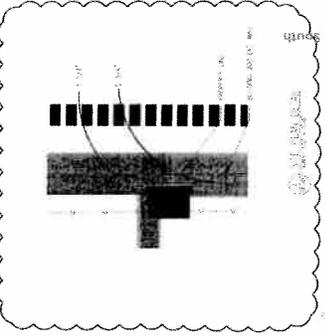
THE PRESTON PARTNERSHIP, LLC
 A MULTI-MEMBERSHIP DESIGN FIRM
 1341 FAIRVIEW PARK DRIVE, SUITE 410
 PALM BEACH, FLORIDA 33480
 PALM BEACH, FLORIDA 33480
 FAX: 561.833.1881
 WWW.THEPRESTONPARTNERSHIP.COM



**NORTH TRACT
 LOFTS**
 ARCHITECTURAL
 PRELIMINARY PLAN

**YORK
 RESIDENTIAL**

DATE	05/28/2007
PROJECT	NORTH TRACT LOFTS
OWNER	THE PRESTON PARTNERSHIP, LLC
ARCHITECT	YORK RESIDENTIAL
SCALE	AS SHOWN
PROJECT NO.	051171
CLIENT NO.	YRM / YOR
DESIGNER	DMC
ARCHITECTURAL	SITE PLAN
DATE	05/28/2007
PROJECT	NORTH TRACT LOFTS
OWNER	THE PRESTON PARTNERSHIP, LLC
ARCHITECT	YORK RESIDENTIAL
SCALE	AS SHOWN
PROJECT NO.	051171
CLIENT NO.	YRM / YOR
DESIGNER	DMC
ARCHITECTURAL	SITE PLAN



NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	05/28/07
2	ISSUED FOR PERMITTING	05/28/07
3	ISSUED FOR PERMITTING	05/28/07
4	ISSUED FOR PERMITTING	05/28/07
5	ISSUED FOR PERMITTING	05/28/07
6	ISSUED FOR PERMITTING	05/28/07
7	ISSUED FOR PERMITTING	05/28/07
8	ISSUED FOR PERMITTING	05/28/07
9	ISSUED FOR PERMITTING	05/28/07
10	ISSUED FOR PERMITTING	05/28/07

YORK RESIDENTIAL
 1341 FAIRVIEW PARK DRIVE, SUITE 410
 PALM BEACH, FLORIDA 33480
 FAX: 561.833.1881
 WWW.YORKRESIDENTIAL.COM

ARCHITECTURAL
 PRELIMINARY PLAN

SCALE: 1" = 10'

DATE: 05/28/07

PROJECT: NORTH TRACT LOFTS

OWNER: THE PRESTON PARTNERSHIP, LLC

ARCHITECT: YORK RESIDENTIAL

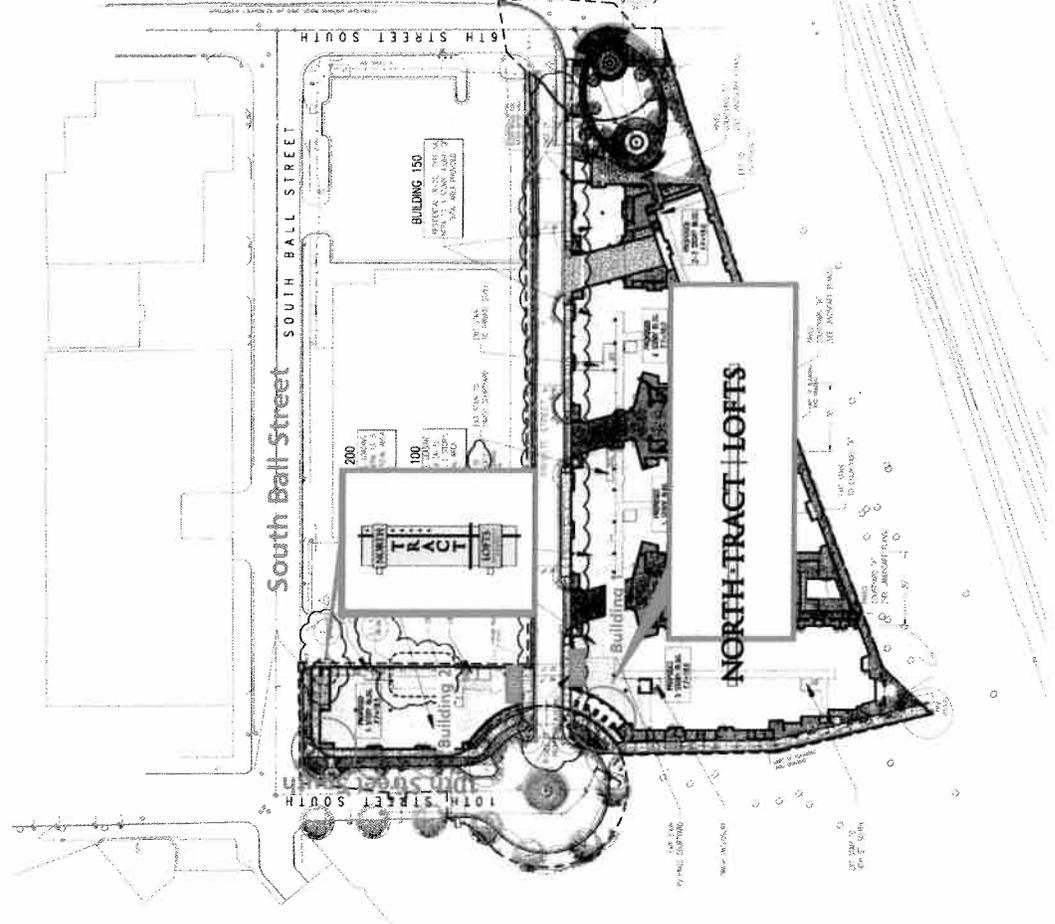
SCALE: 1" = 10'

DATE: 05/28/07

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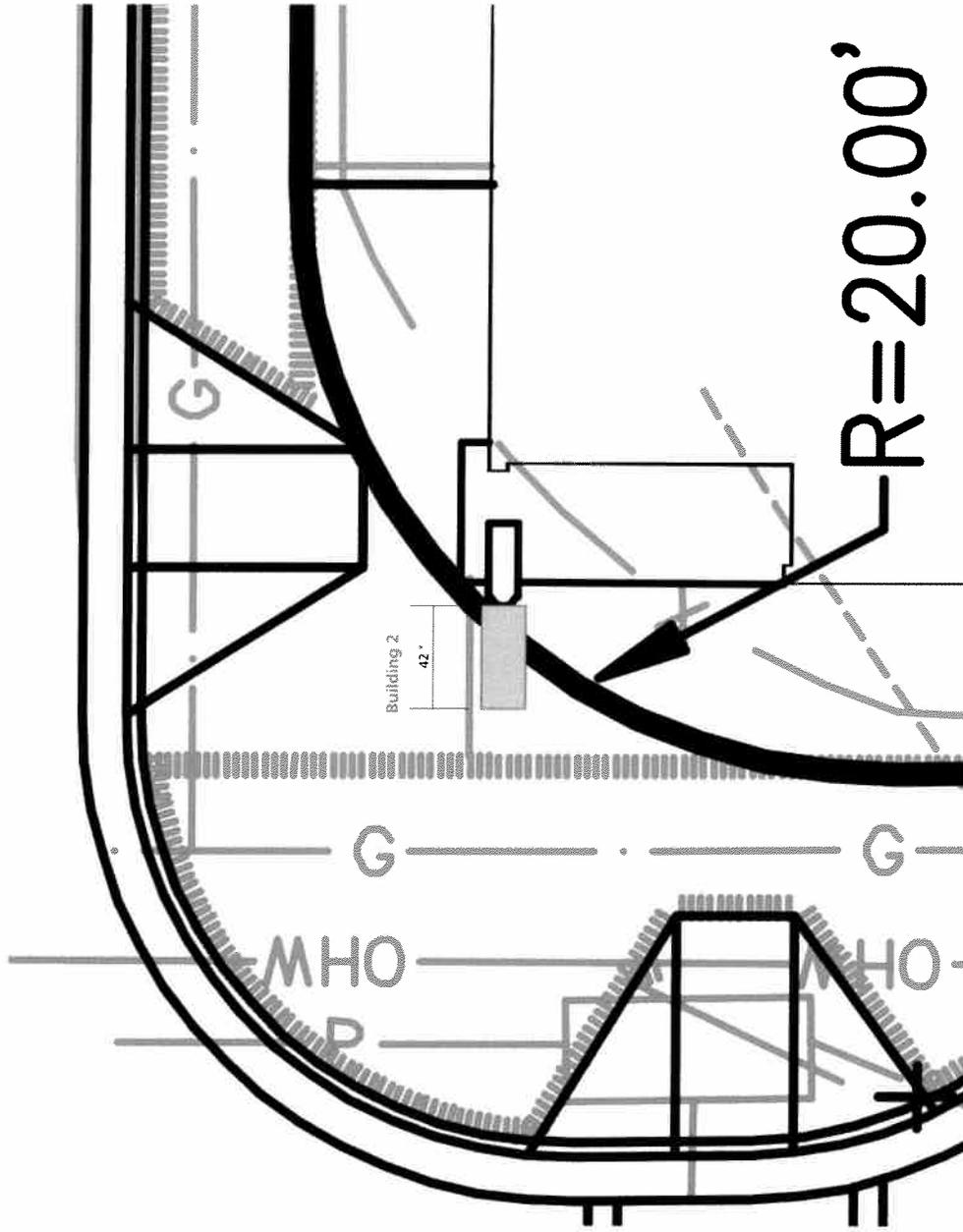
SCALE: 1" = 10'

DATE: 05/28/07

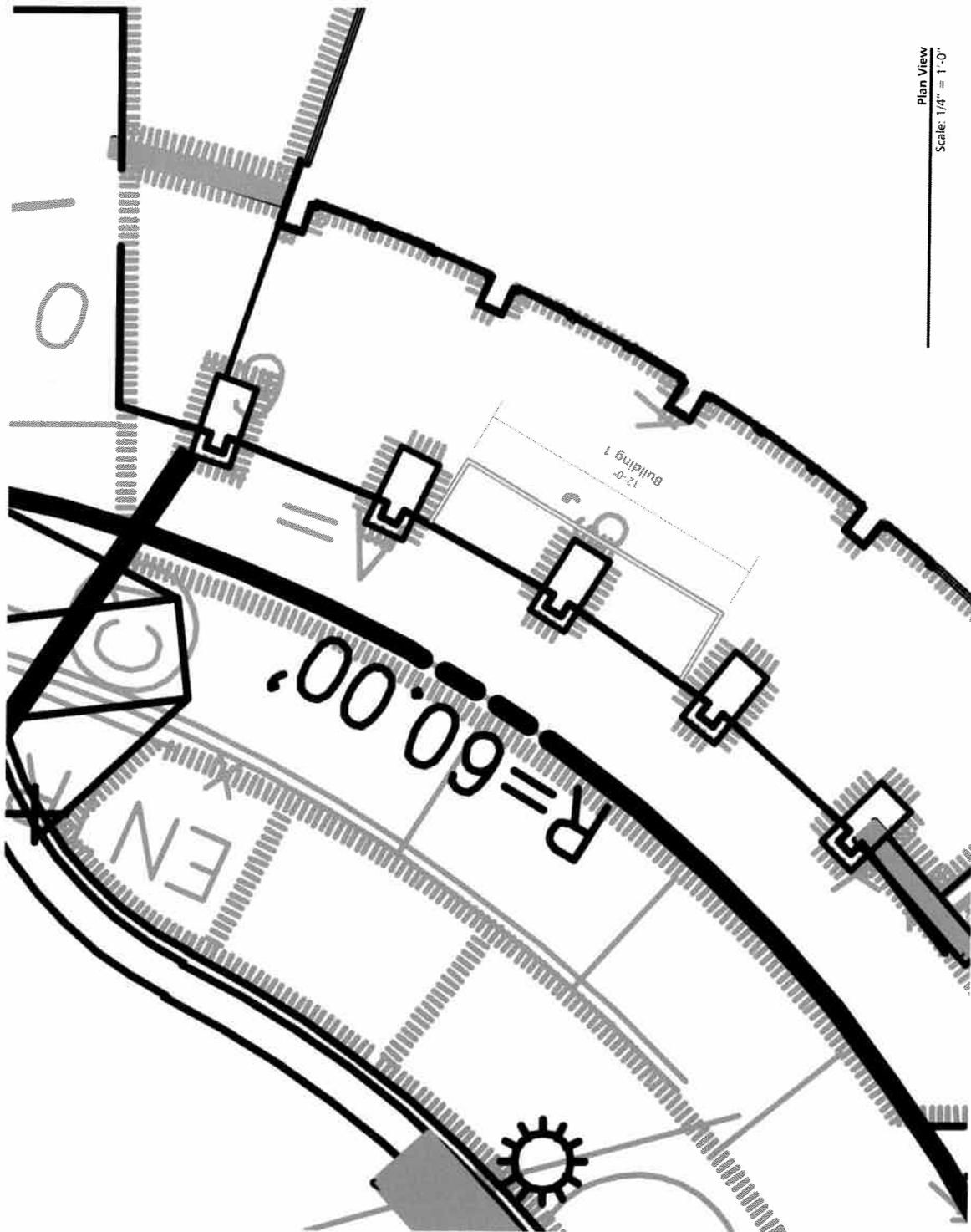
PROJECT: NORTH TRACT LOFTS

OWNER: THE PRESTON PARTNERSHIP, LLC

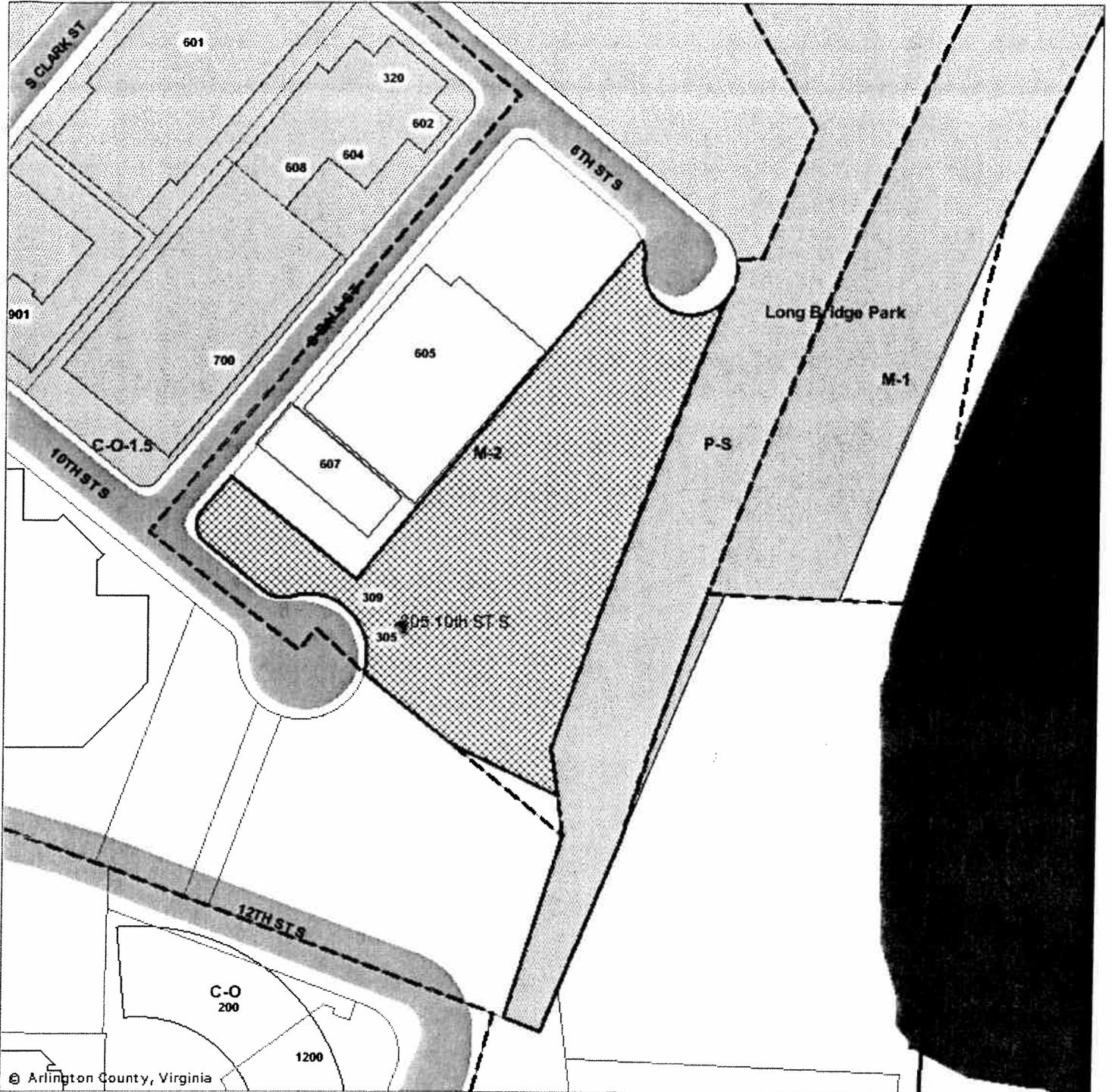
ARCHITECT: YORK RESIDENTIAL



Plan View
Scale: 1/4" = 1'-0"



Plan View
Scale: 1/4" = 1'-0"



SP #390
305 and 309 10th Street South
RPC #34-024-457

Note: These maps are for property location assistance only.
 They may not represent the latest survey and other information.



Not To Scale

