



ARLINGTON COUNTY, VIRGINIA

**County Board Agenda Item
Meeting of January 23, 2010**

DATE: January 4, 2010

SUBJECT: SP #391 SITE PLAN AMENDMENT REQUEST, for a comprehensive sign plan at The Easton (Tax Analyst) located at 2121 N. Westmoreland St., (RPC# 11-012-029).

Applicant:

Easton Partners I, L.P.
Arlington, Va. 22207

By:

Nan E. Walsh
2200 Clarendon Blvd, 13th Flr.
Arlington, Va. 22201

C. M. RECOMMENDATION:

Approve the site plan amendment for a comprehensive sign plan at The Easton at 2121 North Westmoreland Street, subject to all previous conditions and the revised condition #47.

ISSUES: This is a request for a comprehensive sign plan at The Easton (formerly the Tax Analyst property) and no issues have been identified.

SUMMARY: This is a request for a comprehensive sign plan for The Easton mixed-use project in East Falls Church. The applicant proposes signs totaling 269 square feet. The applicant proposes two (2) building identification signs, two (2) parking garage directional signs, and either two (2) or three (3) signs for each retail space, depending on the size of the retail space leased. No signs are proposed above the first floor level. The signs are compliant with the *Sign Guidelines for Site Plan Buildings*, with the exception of the second proposed building identification sign, where the *Guidelines* recommend only one (1) building name sign. However, because the second building identification sign is much smaller and a pedestrian-oriented sign and because the total project sign area is below what the *Sign Guidelines* would permit on this site, staff believes that a comprehensive sign plan with this additional building identification sign will not adversely affect traffic safety at this location, compared to other possible allowable sign area based on the building frontage. Therefore, staff recommends approval of the site plan

County Manager: BMD/GA

County Attorney: CWM/gm

Staff: Peter Schulz, DCPHD, Planning Division

5. B.

PLA-5423

amendment for a comprehensive sign plan at The Easton, subject to all previous conditions and the revised condition #47, which specifies the signs, their placement, and drawings.

BACKGROUND: The subject property is an apartment building with ground-floor retail approved in November 2005 by the County Board as a special exception site plan. In April 2007 the County Board approved a minor site plan amendment to alter the facades, parking spaces, and loading areas, and in January 2009 the Board approved an amendment to extend the timing for the sewer improvements. The building is currently under construction.

The following provides more information about the site:

Site: The site consists of an apartment building with ground floor retail under construction.

- To the north: Across Fairfax Drive, I-66 right-of-way zoned “S-3A”
- To the south: Across Westmoreland Street, the Westlee Condominiums and 18 West townhouses both zoned “C-O-1.5”.
- To the east: Single family homes, zoned “R-6”.
- To the west: The Econo Lodge and a restaurant, zoned “CM”.

Zoning: The site is zoned “C-O-1.5” Commercial Office Building, Hotel And Apartment Districts.

Land Use: The subject site is designated “Low Office-Apartment-Hotel” Up to 1.5 F.A.R. office density, up to 72 units/acre apartment density, up to 110 units/acre hotel density. Also GLUP note 7: “Within the area shown as ‘Low’ Office-Apartment-Hotel, building heights shall be limited to a maximum of 65 feet along Lee Highway and Fairfax Drive, tapering to a maximum of 35 feet along frontages adjacent to residential neighborhoods.”

Neighborhood: The site is located within the Arlington-East Falls Church Civic Association boundary. The Civic Association has been informed of the request, and to date has not commented on the sign proposal.

DISCUSSION: The applicant proposes two (2) lighted building identification signs, two (2) parking garage signs, one (1) lighted and one unlighted; and canopy and blade signs for the proposed retail spaces. No sign is proposed to be above the first level, and the applicant proposes no freestanding signs. The applicant’s proposed signs conform to the *Sign Guidelines for Site Plan Buildings*, with the exception of the second building identification sign. However, because the second building identification sign is much smaller and a pedestrian-oriented sign and because the total project sign area is well below what the *Sign Guidelines* would permit on this site, staff believes that a comprehensive sign plan with this additional building identification sign will not adversely affect traffic safety at this location., compared to allowable other types of signs. The proposed signs add up to a total of 268.6 square feet, less than half of the maximum permissible 540 square feet (The building has 270 linear feet of frontage along North Westmoreland Street and 271 linear feet of frontage on the Fairfax Drive right-of-way).

The retail tenant signs will consist of one (1) blade sign and one (1) or two (2) canopy-mounted signs, depending on the size of the retail unit. If a retail tenant decides to light the signs, Section 34 of the Zoning Ordinance will govern the lighting.

The proposed signs are detailed in the following table:

Sign Type (Quantity)	Dimensions	Sign Area	Text	Location	Materials	Lit Y/N
Clubhouse [building identification] canopy sign (1)	2' x 18'	36 s.f.	CRESCENT	Canopy-mounted above residential lobby doors	Aluminum, painted to match canopy. Internally-lit translucent vinyl with black trim cap	Y (internally)
Clubhouse [building identification] blade sign (1)	1.5' x 2'	3 s.f.	CRESCENT	Wall mounted next to clubhouse egress door	Brushed aluminum backer panel with applied painted aluminum feature panel graphic	Y (internally)
Retail "A" long canopy sign (2)	2' x 18'	36 s.f. x 2	TBD	On canopy above retail unit doors	Metal, Vinyl, acrylic, stone	Y
Retail "A" short canopy sign (2)	2' x 8'	16 s.f. x 2	TBD	On canopy above retail unit doors	Metal, Vinyl, acrylic, stone	Y
Retail "A" and "B" blade signs (4)	1.5' x 2'	3 s.f. x 4	TBD	Wall-mounted adjacent to retail unit entrance	Metal, Vinyl, acrylic, stone	Y
Retail "B" canopy sign (2)	2' x 25'	50 s.f. x 2	TBD	On canopy above retail unit doors	Metal, Vinyl, acrylic, stone	Y

Retail parking directional sign (1)	1' 3" x 5' 5.5"	6.8 s.f.	Retail Parking	On back side of glass transom above aluminum storefront entry	Vinyl duranodic field with 103/4" silver vinyl copy	N
Public parking directional sign (1)	3' 6.5" x 1' 11"	6.8 s.f.	Parking/Resident/Guest/Retail	Surface mounted, west elevation, SW corner	3/8" aluminum, painted champagne 1/8" thick aluminum swoosh logo and 1/16" non-glare acrylic copy with 2 nd surface painted dark brown	Y (exterior wall mounted light)
Total sign area proposed		269 sq. ft.				
Total permissible sign area		540 sq. ft.				

CONCLUSION: The applicant's proposed signs conform to the *Sign Guidelines for Site Plan Buildings*, with the exception of the second building identification sign. However, because the second building identification sign is much smaller and a pedestrian-oriented sign and because the total project sign area is below what the *Sign Guidelines* consider permissible, staff believes this additional building identification sign will not adversely affect traffic safety at this location., compared to other allowable types of signs. Therefore, staff recommends approval of the proposed comprehensive sign plan, subject to all previous conditions and an amended condition #47:

Proposed amended condition:

- 47. The developer agrees to develop and submit a comprehensive sign plan and that all exterior signs (including identification and directional signage) shall be consistent with the guidelines contained in "Sign Guidelines for Site Plan Buildings and with Section 34 of the Zoning Ordinance. The Zoning Administrator shall determine whether the signs meet the standards of the guidelines and the Ordinance. No sign permits will be issued until a comprehensive sign plan is approved. The developer agrees to obtain approval from the Zoning Administrator of the comprehensive sign plan before the issuance of the first Certificate of Occupancy. The developer agrees that such a comprehensive sign plan shall include directional signs showing access to

the retail parking. All proposed rooftop signs, defined as all signs that are 35 feet or more above the ground, shall require a site plan approval or amendment.

The applicant agrees that all project signs shall be consistent with the comprehensive sign plan prepared by Design Collective and dated November 20, 2009 and approved by the County Board on January 23, 2010. The developer further agrees that all signs shall be of the number, size, location, design, materials, and structure shown on the comprehensive sign plan and in the chart in the staff report. In particular, all signs shall be of the size shown on the sheet dated November 20, 2009 and entitled "Sign Matrix". Sign lighting shall conform to the requirements of the Zoning Ordinance. The total project sign area shall not exceed 269 square feet.

Minor changes to the approved signs may be approved administratively by the Zoning Administrator. For the purposes of the preceding sentence, minor changes shall include only the following: (i) a minor adjustment in the location of a sign to meet field conditions (less than 1 foot in any direction); or (ii) a minor change in the area of an individual sign (less than 5%).

PREVIOUS COUNTY BOARD ACTIONS:

- January 11, 1949 Rezoned 6820 Fairfax Drive from “RA8-18” to “C-2” (Z-655-48-1).
- July 25, 1964 Approved a use permit (U-1624-64-1) for a radio tower at 6814 N. Fairfax Drive.
- August 13, 1966 Approved a use permit (U-1724-66-1) for a commercial radio tower at 6830 N. Fairfax Drive.
- May 17, 1986 Amended the General Land Use Plan (GLUP) designation for the area from “General Commercial” and “Service Industry” to “Low” Office-Apartment-Hotel with a maximum height of 65 feet.
- May 13, 1989 Approved a Use Permit (U-2636-89-2) for the operation of an aluminum and newspaper recycling collection center, with a review in one (1) year. (6830 N. Fairfax Drive)
- May 22, 1990 Granted renewal of a Use Permit (U-2636-89-2) for the operation of an aluminum and newspaper recycling collection center, with a review in one (1) year. (6830 N. Fairfax Drive)
- September 8, 1990 Took no action on an application for a Use Permit (U-2672-90-1) for a recycling drop-off center with two containers for newspaper, glass, bi-metal, aluminum cans and plastic. (6830 N. Fairfax Drive)
- November 16, 2005 Approved a rezoning (Z-2519-05-1) of 6808, 6814, 6820, 6830, and 6840 North Fairfax Drive; 2011, 2025, and 2101 North Westmoreland Street; and North 19th Road from “CM”, “M-1” and “R-6” to “C-O-1.5”.
- Approved a site plan (SP #391) for 214 residential units and approximately 6,490 square feet commercial space.
- April 24, 2007 Approved a site plan amendment for façade revisions and modifications to the parking and loading area, subject to revised conditions #1, 36,

62, 67, 71, 77, 79-81 and new conditions #83 and #84.

January 24, 2009

Approved a site plan amendment to modify condition #24 regarding timing of sewer improvements.

2101 N. Westmoreland St. Crescent Falls Church - Comprehensive Sign Plan

November 19, 2009

Item No.	Sign Type	Proposed Sign Area	Text	Location	Material/Color	Sign Illumination
1.	Clubhouse	Linear Frontage 94 sq. feet (per ACZO sec. #34.G.1)	CRESCENT	Signage top and canopy to be canopy-mounted above northeast lobby entry doors.	Aluminum painted to match canopy. Interlock-laminated vinyl with black rim cap. (Reference attached fabrication drawing)	Internally lit
2.	Retail Space 'A1'	Max. Allowable Sign Area 60 sq. feet (per ACZO sec. #34.G.1)	To be Determined	Signage and canopy to be canopy-mounted above retail entry doors.	Metal, Vinyl, Acrylic, Stone	Lighted
3.	Retail Space 'A2'	Max. Allowable Sign Area 60 sq. feet (per ACZO sec. #34.G.1)	To be Determined	Signage and canopy to be canopy-mounted above retail entry doors.	Metal, Vinyl, Acrylic, Stone	Lighted
4.	Retail Space 'B1'	Max. Allowable Sign Area 60 sq. feet (per ACZO sec. #34.G.1)	To be Determined	Signage and canopy to be canopy-mounted above retail entry doors.	Metal, Vinyl, Acrylic, Stone	Lighted
5.	Retail Space 'B2'	Max. Allowable Sign Area 60 sq. feet (per ACZO sec. #34.G.1)	To be Determined	Signage and canopy to be canopy-mounted above retail entry doors.	Metal, Vinyl, Acrylic, Stone	Lighted
6.	Exterior Directional Signage	Linear Frontage 910 sq. feet (334 sq. feet)	Retail Parking	Adhered to back side of glass transom in aluminum storefront entry.	Vinyl Duranodic field with 10 3/4" slake vinyl copy	None
<p>Totals</p> <p>910 sq. feet (334 sq. feet) 15 12</p>						

TOTAL WESTMORELAND ST. LINEAR BUILDING FRONTAGE 319 FT.
TOTAL ALLOWABLE SIGN AREA 334 SQ. FT. (per ACZO sec. #34.G.1)
TOTAL PROPOSED SIGN AREA 288.6 SQ. FT.

The Hanover Company
547 San Felipe
Berkeley, CA 94702

Crescent Falls Church
2121 North
Westmoreland St.
Arlington, Co., VA 22213

Project No. 07306

Signage Matrix

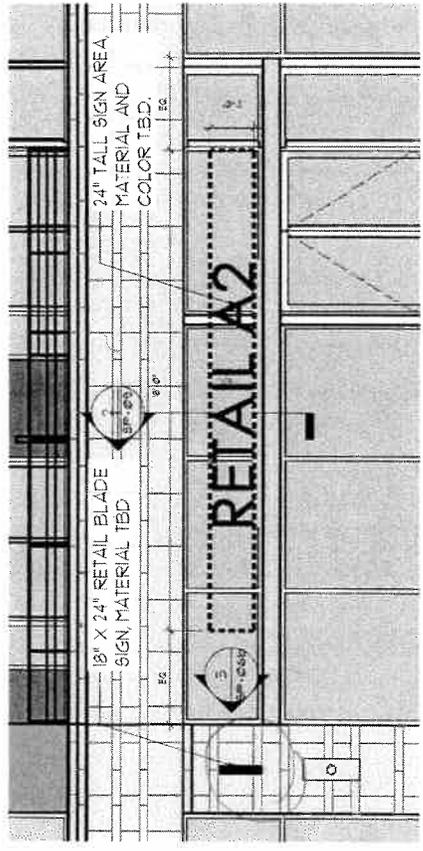
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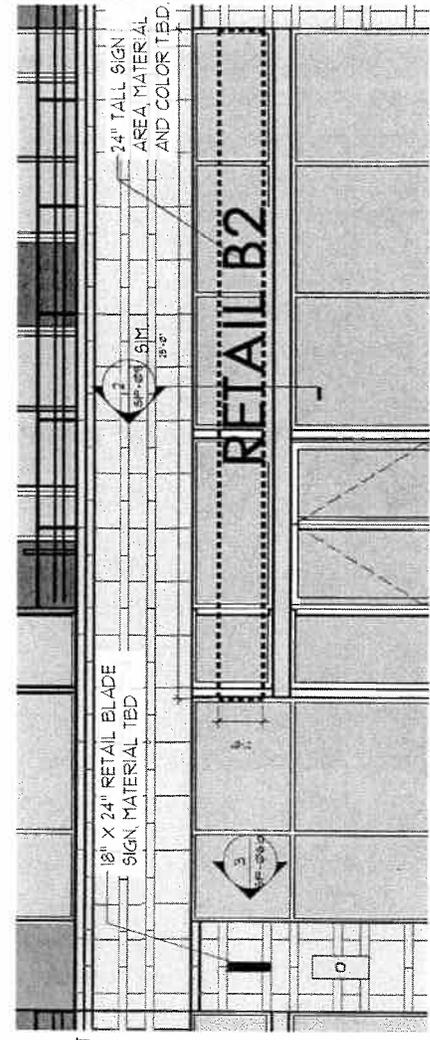
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 LOCATION: WESTMORELAND, VA
 ARCHITECT: JAMES W. HARRIS ARCHITECTS
 DATE: 08/14/18
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 PROJECT NO.: 478-06

The Hanover
 Company
 3877 Van Cleave
 Suite 400
 Fairfax, VA 22031
 Crescent Falls Church
 2121 North
 Westmoreland St.
 Arlington, CO, VA 22213
 Project No. 478-06

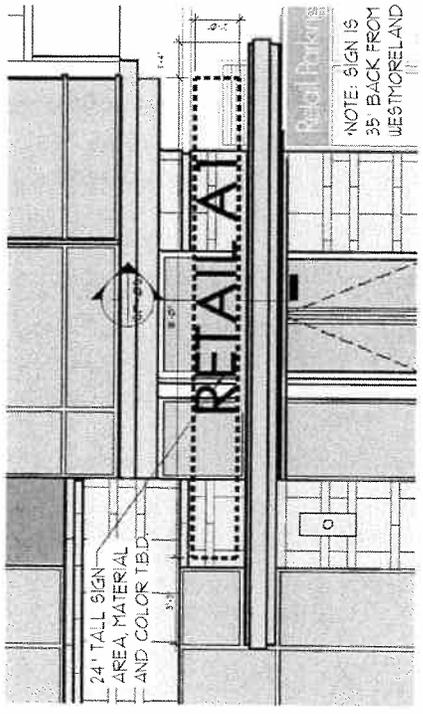
Enlarged Sign Elevations
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SP-06a



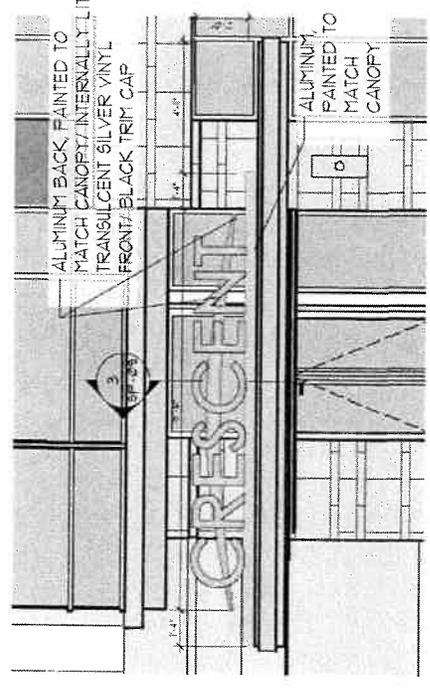
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SP-06a SCALE 1/8" = 1'-0"



4 ENLARGED ELEVATION - RETAIL B1, B2 SIGNS
SP-06a SCALE 1/8" = 1'-0"



1 ENLARGED ELEVATION - RETAIL A1 SIGN
SP-06a SCALE 1/8" = 1'-0"



3 ENLARGED ELEVATION - RESIDENT CLUBHOUSE SIGN
SP-06a SCALE 1/8" = 1'-0"

ADDRESS: 10000 WOODBRIDGE DRIVE
 SUITE 1000
 WESTMORELAND, VA 22191
 TEL: 540-721-1111
 FAX: 540-721-1112
 WWW: WWW.DESIGNCOLLECTIVE.COM

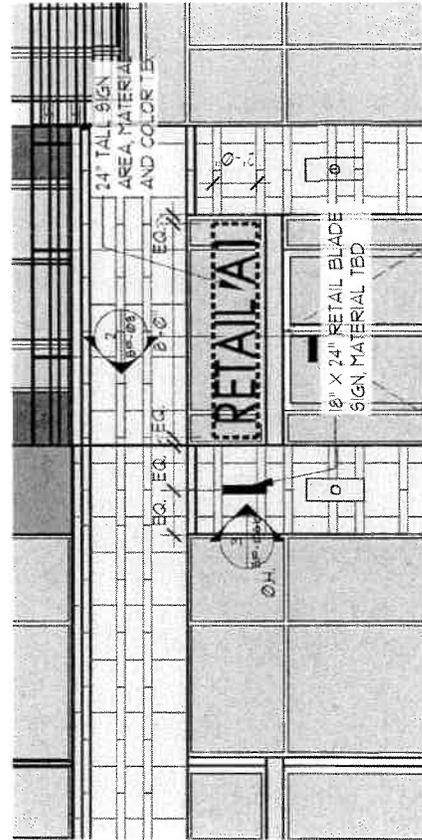
The Hanover
 Company
 347 East Edge
 Reston, VA 20191

Crescent Falls Church
 2121 North
 Westmoreland St.
 Arlington, VA 22213

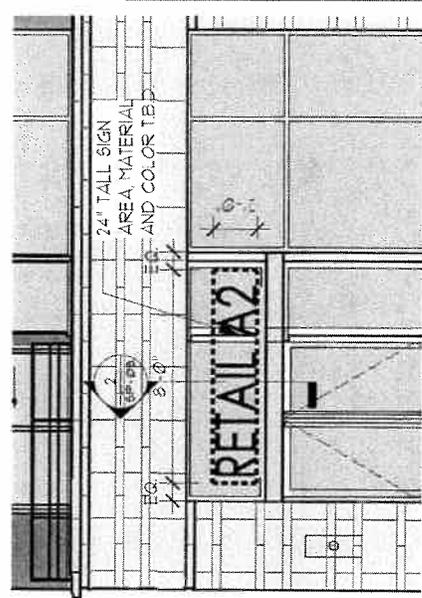
Project No. 478-04

Enlarged Sign Elevations
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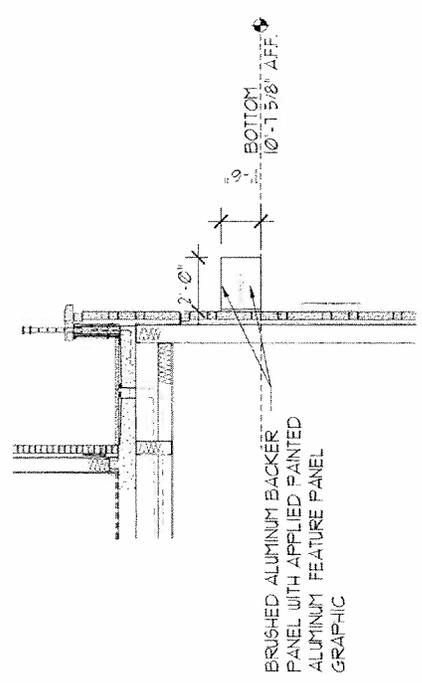
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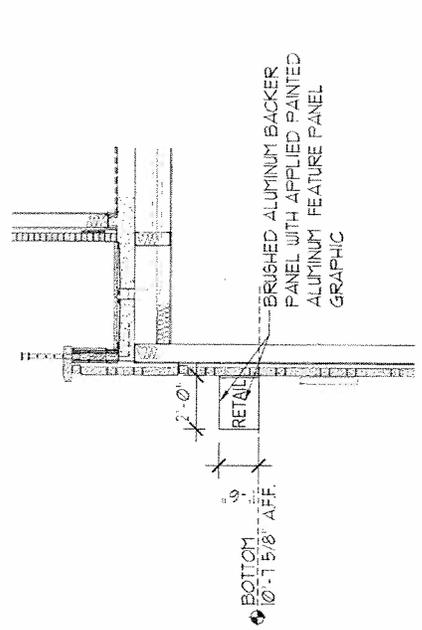
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 SCALE: 1/2"=1'-0"



1 ENLARGED ELEVATION - RETAIL A2 SIGN
 SCALE: 1/2"=1'-0"



4 ENLARGED ELEVATION - CLUBHOUSE BLADE SIGN
 SCALE: 1/2"=1'-0"



3 ENLARGED ELEVATION - RETAIL BLADE SIGN
 SCALE: 1/2"=1'-0"

ARCHITECT: THE HANOVER COMPANY
1000 EAST WASHINGTON BLVD
ARLINGTON, VIRGINIA 22201
TEL: 703.241.1100
WWW.HANOVERDESIGN.COM

PROJECT: CRESCENT FALLS CHURCH
2121 NORTH WESTMORELAND ST
ARLINGTON, VA 22221

DATE: 08/15/16

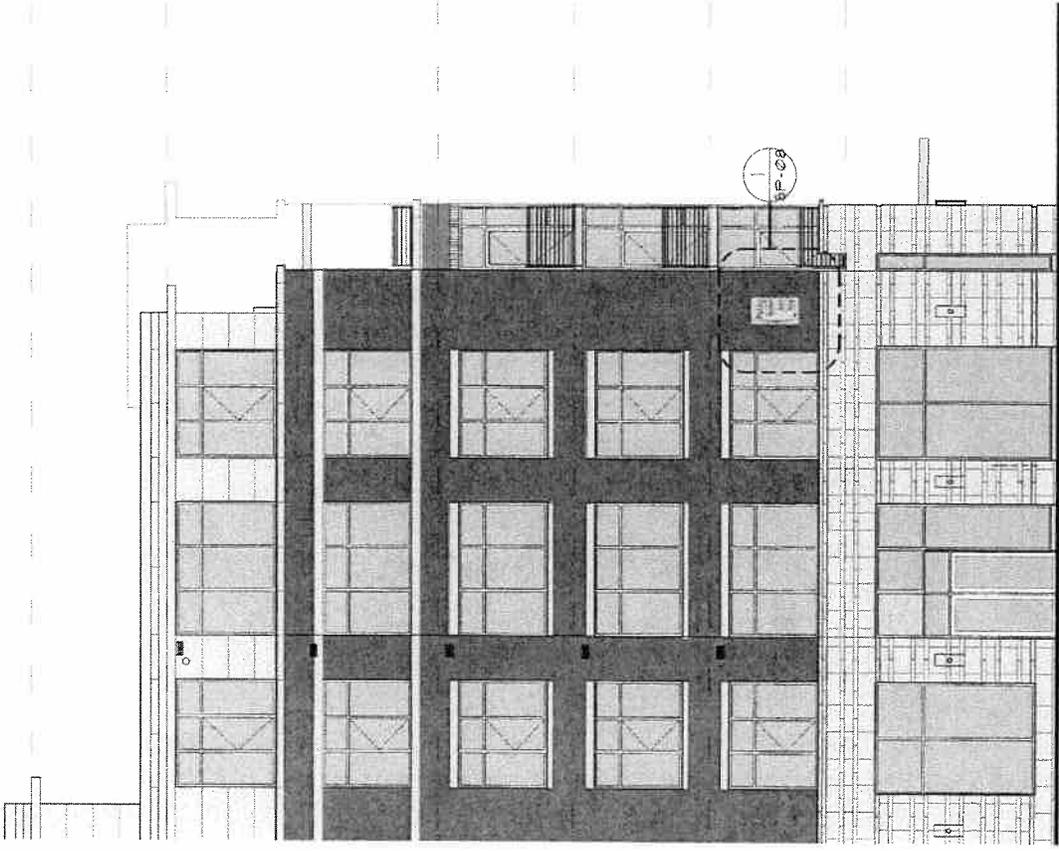
The Hanover Company
1000 East Washington Blvd
Arlington, VA 22201
Tel: 703.241.1100
www.hanoverdesign.com

Crescent Falls Church
2121 North Westmoreland St
Arlington, VA 22221
Project No. 4806

Partial Enlarged
West Elevations

Scale: 1/4" = 1'-0"

SP-07



PARTIAL ENLARGED WEST ELEVATION - WASHINGTON BLVD
SCALE: 1/4" = 1'-0"

12000 W. 10th Ave.
Suite 200
Westminster, CO 80231
www.designcollective.com

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The Hanover
Company
547 5th Feige
Suite 200
Westminster, CO 80231
72827

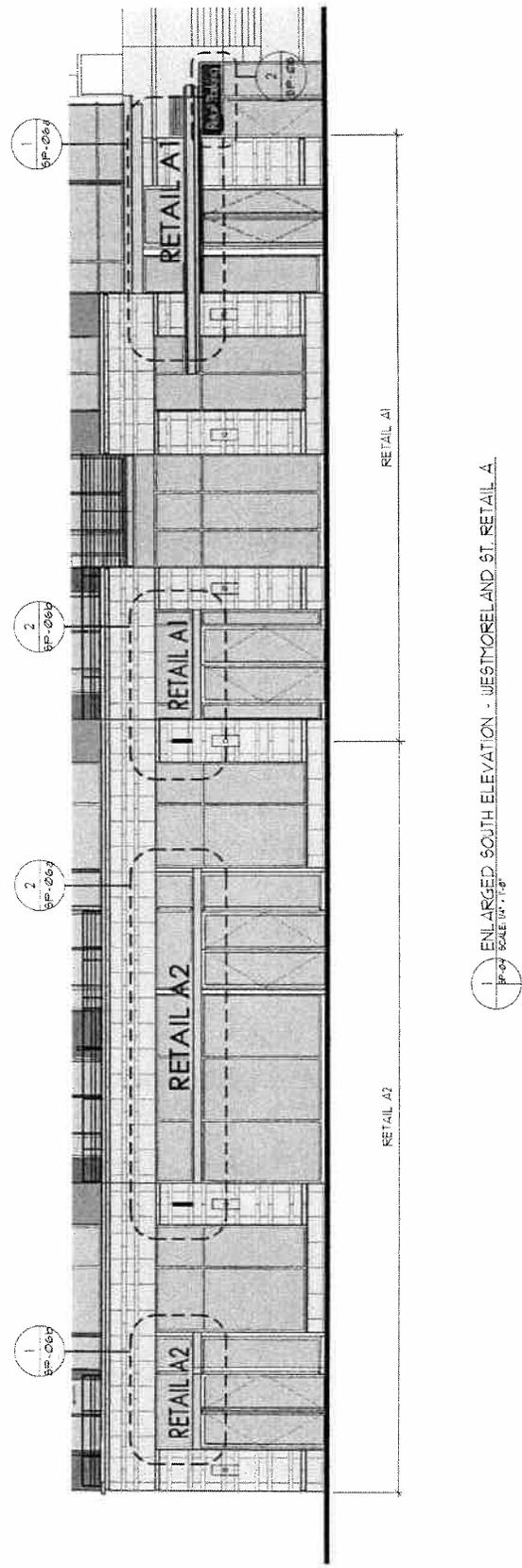
Crescent Falls Church
2121 North
Westmoreland St.
Westmoreland Co., VA 22213
ARLINGTON, VA 22213

Project No. 478-04

Enlarged Elevation
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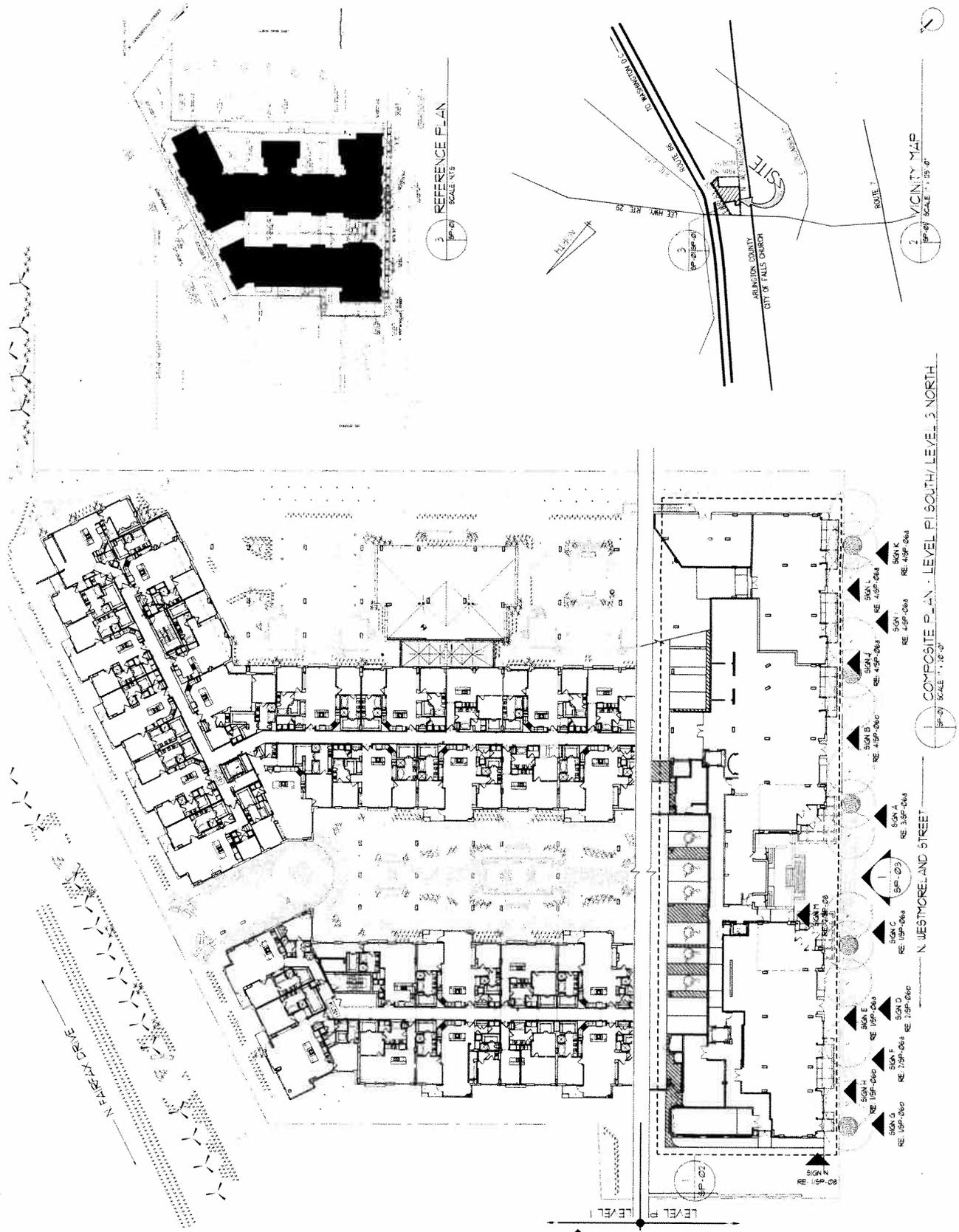
DESIGN COLLECTIVE

PROJECT NO. 478-06
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 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT MANAGER: [Name]
 ARCHITECT: [Name]
 3847 SAN FELICE
 WESTMORELAND ST
 WESTMORELAND, VA 22213
 TEL: 703-433-1100
 FAX: 703-433-1101
 WWW.DESIGNCOLLECTIVE.COM

The Hanover Company
 3847 San Felice
 Westmoreland, VA 22213
 Project No. 478-06

Crescent Falls Church
 2121 North
 Westmoreland St
 Arlington Co., VA 22213

Composite Plan -
 Level P1 South/ Level 3
 North
 Scale: 3/32" = 1'-0"
 SP-01



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 SCALE: 1/16" = 1'-0"

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 REFERENCE PLAN
 SCALE: 1/8" = 1'-0"

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 REFERENCE PLAN
 SCALE: 1/16" = 1'-0"

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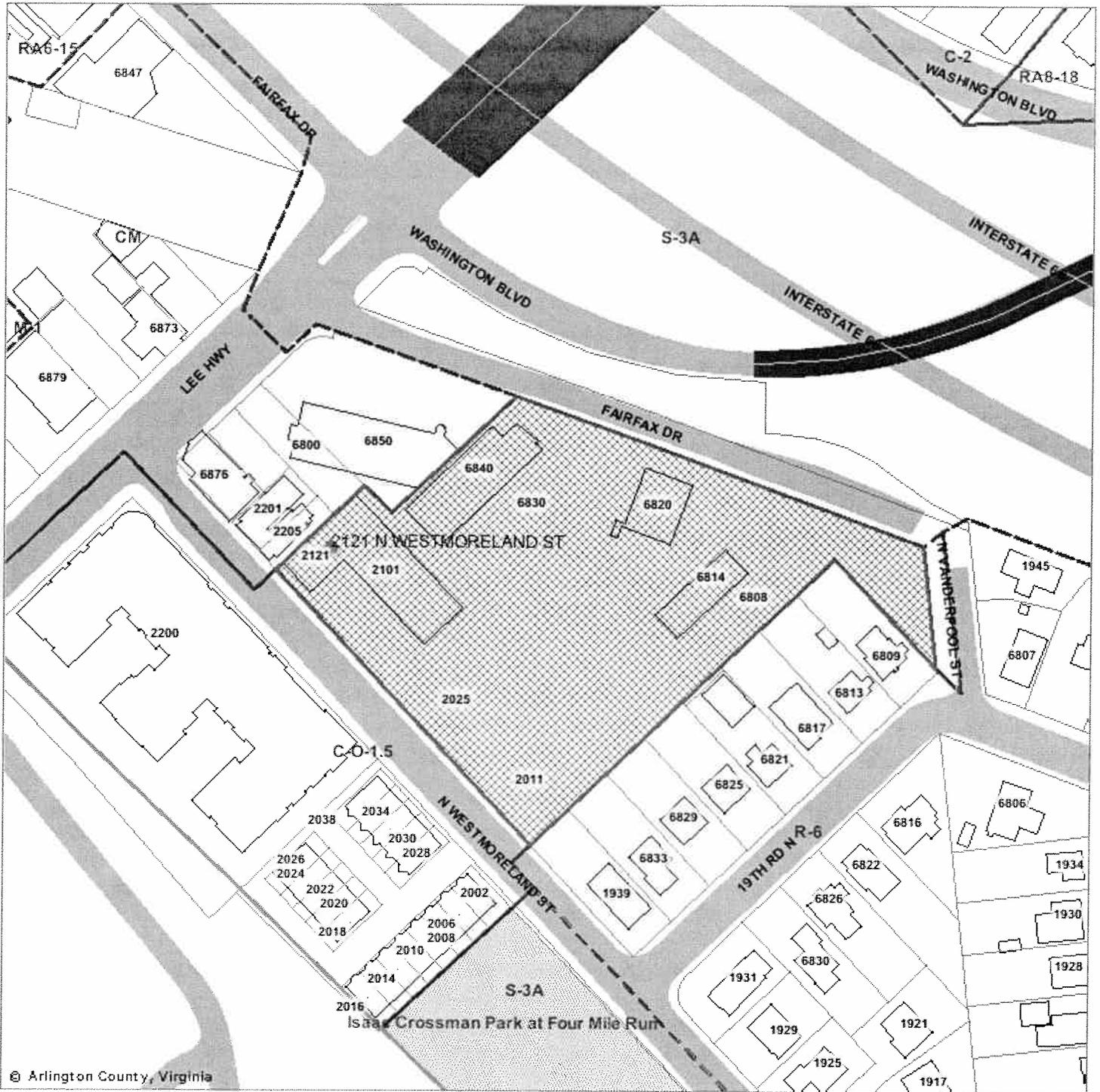
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SP # 391
2121 Westmoreland Street
RPC # 11-012-029

Note: These maps are for property location assistance only.
 They may not represent the latest survey and other information.



Not To Scale

