

Buckingham Historic District Guidelines

Arlington, Virginia

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**Arlington County
Historical Affairs and Landmark Review Board
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TABLE OF CONTENTS

1.	Introduction.....	1
2.	Why is Buckingham Historically Significant?.....	3
3.	When is Design Review Required?.....	5
	A. Items <u>not</u> Requiring a Certificate of Appropriateness.....	5
	B. Items Requiring a Certificate of Appropriateness.....	6
	C. Special Conditions.....	6
	D. The Certificate of Appropriateness Process.....	7
4.	Guidelines for Residential Areas: Renovation.....	9
	A. Introduction.....	9
	B. Design Elements.....	11
	C. Architectural Features.....	11
5.	Guidelines for Residential Areas: New Construction and Additions.....	15
	A. Introduction.....	15
	B. Design Elements.....	15
	C. Architectural Features.....	16
6.	Guidelines for Residential Areas: Landscaping - Renovation.....	17
	A. Introduction.....	17
	B. Landscape Features.....	18
	Landscaping - New Construction and Additions.....	21
	A. Introduction.....	21
	B. Landscape Features.....	21
7.	Guidelines for Residential Areas: Signage.....	23
	A. Introduction.....	23
8.	Guidelines for Commercial Areas: Renovation.....	25
	A. Introduction.....	25
	B. Design Elements.....	27
	C. Architectural Features.....	27
9.	Guidelines for Commercial Areas: New Construction and Additions.....	29
	A. Introduction.....	29
	B. Design Elements.....	30
	C. Architectural Features.....	31

TABLE OF CONTENTS

10.	Guidelines for Commercial Areas: Landscaping - Renovation, New Construction and Additions.....	33
	A. Introduction.....	33
	B. Landscape Features.....	33
11.	Guidelines for Commercial Areas: Signage.....	35
	A. Introduction.....	35

APPENDICES

A.	Demolition or Relocation of a Building	37
B.	Limited Glossary.....	39
C.	Map of Buckingham Historic District.....	43
D.	List of Specifications of Appropriate Materials for Maintenance and Rehabilitation Work.....	45

CHAPTER 1

Introduction

To recognize and protect the historical and architectural significance of Buckingham, residential and commercial areas that have the highest historic and community value have been designated an Arlington County historic district. This designation provides a design review process for exterior changes to properties in Buckingham. The changes require review by the Historical Affairs and Landmark Review Board (HALRB) from whom a Certificate of Appropriateness permit is obtained.

The Buckingham Historic District Guidelines have been developed to provide guidance to owners in Buckingham as they plan changes to the exterior of their property. They were drafted by the HALRB to aid owners in planning for the renovation, new construction, additions, relocation and demolition of structures in the Buckingham Historic District, and to assist the Review Board in evaluating such plans.

This historic district designation does not require owners to improve or modify their properties, but if exterior changes are desired, these guidelines will provide design assistance in the review process. A range of design options which will encourage preservation and new development compatible with the existing character of the Buckingham Historic District are identified in the design guidelines.

The guidelines recognize that change in the district is a natural part of the continuing development of Buckingham. While every effort has been made to address the variety of possible modifications, some may have been overlooked. Owners are invited to bring questions to the HALRB's attention. If carefully managed, change can permit full use and enjoyment by today's residents while retaining and enhancing the historic character of the Buckingham Historic District. The Buckingham Historic District Guidelines supplement the Arlington County Zoning Ordinance.

CHAPTER 2

Why is Buckingham Historically Significant?

Buckingham, a garden apartment complex constructed between 1937 and 1953 in Arlington, Virginia, is a nationally significant example (eligible for the National Register) of the application of pioneering principles of garden city planning to a large-scale, planned residential community. These principles include low-density superblocks, curving streets, the separation of automobiles and pedestrians, shallow building plans allowing improved light and ventilation, large landscaped common spaces within the center of the superblocks forming a continuous park and the provision of commercial, educational, and recreational facilities as part of the planned residential community.

Buckingham was the last design of Henry Wright, a prominent advocate and prophet of the Garden City movement who was responsible for many of its seminal projects in the 1920s and 1930s. Mr. Wright was the primary designer of Radburn, New Jersey and Greenbelt, Maryland, both important examples of garden city planning. Buckingham represents the final evolution of his designs for large-scale, planned residential communities.

In addition to its significance in community planning and architecture, Buckingham had an important historical role in the development of housing policy. The developer, Allie Freed, chairman of the Committee for Economic Recovery, sought to reform the building industry by using the economies of scale of the automobile industry, to demonstrate the economic viability of rental housing using only private sources of capital, and to promote economic recovery. Because Buckingham was located in a suburb of Washington, D.C., Mr. Freed's efforts were in a prominent situation to influence housing developments nationwide.

Comparing Buckingham to its contemporaries, it emerges as an early prototype of the ideal rental housing project which was promoted in the 1930s by planners, businessmen, and the government, and which was enormously popular with the general public.

CHAPTER 3

When is Design Review Required?

In order to preserve the special historic character of Buckingham, certain exterior changes to the exterior of properties will require the preliminary step of having the property owner's plans reviewed by the Historical Affairs and Landmark Review Board (HALRB) through a design review process in which the Certificate of Appropriateness (CoA) is obtained. A diagram outlining the steps on this process is included on page 7 and a CoA Application Form can be acquired from Arlington County.

Property owners in Buckingham must obtain a CoA prior to any exterior modifications, new construction, or demolition that would modify or alter the design, materials, size or siting of the existing structure or the property. Interior modifications are exempt from review and do not require a CoA; nor does normal exterior maintenance that does not change the design, materials, size or siting of the existing structure or the property.

Most modifications which would require the CoA also require a building permit. Property owners should contact the Arlington County Zoning Office to find out when a building permit is needed. However, there are some changes to properties within a historic district which need a CoA even when a building permit is not required. Some of these are removing shutters; replacing a front door with one of a different design; and placing an air conditioning unit through an outside wall.

A. Items not Requiring a Certificate of Appropriateness:

1. Repair, replacement and ordinary maintenance of exterior features using the same materials of the same design.
2. Any interior modifications or renovations.
3. Preparation and maintenance of lawns, shrubbery and flower beds.
4. Paving repair using the same material of the same design.
5. Movable items such as through the window air conditioning units.

In the event that an emergency occurs, most repairs would fall under the Ordinary Maintenance definition found in the Zoning Ordinance, which permits repair using the same material and the same design without a Certificate of Appropriateness. However, if an emergency repair would change the design, material, size or siting of the existing structure or property - which would require a Certificate of Appropriateness - an

Arlington County Building Inspector will certify that public safety is jeopardized due to an unsafe or dangerous condition.

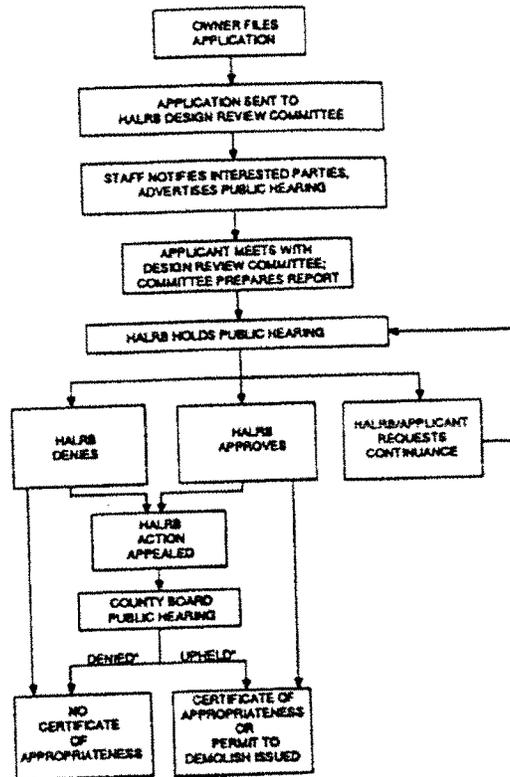
B. Items Requiring a Certificate of Appropriateness (whether or not an Arlington County Building Permit is required):

1. Any new construction or enlargement, addition, modification or alteration of the exterior of an existing building.
2. Removal or demolition of part or all of a building or structure, including service units.
3. Repair or replacement of roofs, exterior doors and windows, trim, and other features with different materials and/or a different design.
4. Removal, replacement or enclosure of porches, balconies, and yards.
5. Change in or alteration of materials including installation of shingles or masonry facing.
6. Painting on previously unpainted brick, the removal of paint on masonry, or painting a previously painted building with a different color.
7. Repointing of brick with different material, texture and/or design.
8. Exterior sandblasting and other abrasive cleaning methods.
9. Removal of shutters.
10. New paving or modification of paving materials.
11. Installation or removal of fencing or fence/walls.
12. Removal, installation or modification of permanent signs.
13. Removal of large trees (measuring at least 15" diameter at 4' height).
14. Any other action which does not constitute ordinary maintenance but which modifies, alters or otherwise affects the exterior features of a building, structure, site or other feature within the historic district.

C. Special Conditions

1. Access for the Handicapped: Modifications to buildings to allow access for handicapped persons are permitted. When emergency access is required, short-term temporary facilities, such as a ramp, may be provided for a period of three months without a CoA. At the end of the three-month period, owners may request an extension to keep the temporary modification in place for an additional three months. After six months, a CoA is required to replace the temporary modification with a permanent modification.

D. The Certificate of Appropriateness Process



*DECISIONS OF THE COUNTY BOARD MAY BE APPEALED TO THE CIRCUIT COURT OF ARLINGTON COUNTY

It is important to remember that the design guidelines do not replace existing requirements of the Arlington County Zoning Ordinance or building codes. It is the property owner's responsibility to comply with all existing county, state and federal laws and codes.

In summary, exterior repair and replacement using matching materials does not require a CoA. Interior modifications also do not require a CoA. Exterior modifications that change the design, materials, color, size or siting of the existing structures or landscape; new construction; additions; and demolition require a CoA.

CHAPTER 4

Guidelines for Residential Areas: Renovation

A. Introduction

The Buckingham Garden apartment complex represents a pioneering attempt at combining garden city planning principles with automotive industry style mass production techniques for the buildings in an effort to solve two pressing needs of the 1930's depression era; economic recovery and the provision of affordable mass housing. For this privately financed demonstration project to be successful, its economics had to be market driven, i.e., it had to appeal to the consumer. Buckingham thus, became a market research laboratory, changing the formula (or plans) in response to market demand.

The logic and appeal of the garden city planning principles had already been established at Sunnyside Gardens, New York; Radburn, New Jersey; and Chatham Village, Pennsylvania. These included low density superblocs, curving streets, the separation of automobiles and pedestrians, shallow building plans allowing improved light and ventilation, and large continuous landscaped common spaces within the center of the superblocs forming a continuous park. These organizing principles in Buckingham are key to its significance as an historic example of garden apartment planning. The distinguishing characteristics of the Buckingham landscape plan are addressed later in Chapter 6, *Guidelines for Residential Areas: Landscaping.*

Except for one experimental building, built to test the appeal of "Modern Architecture" of austere European Bauhaus origins, the apartment buildings of Buckingham exhibit the popular Colonial Revival Style design. They consist of two-story brick buildings with slate roofs. Entrances are varied and some buildings were painted to provide identity for the individual buildings but, for the most part, the buildings are very simple and straight forward. A minimum of decoration was applied sparingly to enhance market appeal while maintaining the economics of mass production and the repetition of plans and details.

The apartment buildings of Buckingham are two, and in a one instance, three-story common bond brick buildings with slate-roofed hip and gable roof forms. Brick quoins mark the corners. Windows are typically double hinge sash with subdivided lights; generally in a 6 over 6 pattern without elaborate trim. Entrance doorways provide variety and decorative focus with eleven different types of precast concrete surrounds including broken pediments, segmented arches and stylized jack arches.

The basic unit consists of an eight-bay building with two stairwells, each leading to four apartments. Other combinations of building units provided variety and accommodated the different apartment sizes which were driven by market demand. Varying roof treatments on the larger structures helped maintain the residential scale. The one, "experimental", unit utilized a three-story configuration with flat roofs and cantilevered balconies. The brick, cast stone trim and alignment with the street unifies this building with the others in the complex.

One commercial building located along North Pershing Drive intended originally as medical/professional offices, was executed in the Colonial Revival Mode using the residential components of the project as described above.

The purpose of the preceding description of the design elements and architectural features of the residential buildings in Buckingham is to assist the owner when undertaking renovations of the existing buildings. Below are general directions for undertaking residential renovations in Buckingham, followed by guidelines for the treatment of specific design elements and architectural features.

One of the most important issues to take into consideration when considering the renovation of an historic building is the treatment of the original material. As time goes by, it becomes increasingly difficult to recreate original material, so preservation of the original material is of the utmost importance. For example, the precast concrete door surrounds are original to the building and significant to the design; any renovation work to the doorways should be undertaken in a manner least damaging to the historic material.

The following is a list of renovations that would be desirable. The HALRB has listed the actions in order of preference:

1. Repair or replacement of original feature with same feature;
2. Return feature to its original condition;
3. Replace feature with a substitute similar in style, size, color, design and material.

Because the exterior design of the buildings in Buckingham is uniform across the facade and throughout the historic district, changes to exterior features should be done in a manner which take the composition of an entire facade into consideration. Where possible, exterior changes also should be consistent throughout the historic district. For instance, it is recommended that where multiples of a feature exist (such as

entry light fixtures) they should be used consistently both on the facade and throughout the historic district.

The regular pattern of window and door openings contributes to Buckingham's uniform appearance and is another important feature in Buckingham's residential design. Therefore, new openings are discouraged. Existing openings should be retained in their original size.

An Appendix with specific materials appropriate for maintenance and rehabilitation work has been developed. (See Appendix D, List of Specifications of Appropriate Materials for Maintenance and Rehabilitation Work). It is important to note that the materials in the Appendix are examples and not the only acceptable substitutes.

Exterior repair and replacement using the same materials does not require a Certificate of Appropriateness (CoA). Interior modifications also do not require a CoA. Exterior repairs and renovations that change the design, materials, color, size or siting of the existing structures or landscape; new construction; additions; and demolition require a CoA.

B. Design Elements

For guidance with renovation work that may affect the massing, location, form or scale of existing residential buildings, please see Chapter 5, Guidelines for Residential Areas: New Construction and Additions.

C. Architectural Features

1. Roofs - Retain existing roof forms; repair and replacement of original slate is preferred. Any substitute roof material should be of a similar color (hue and intensity), shape and size as the original slate. For guidelines on porch roofs, see Porches #12, page 9. See Appendix D, List of Specifications of Appropriate Materials for Maintenance and Rehabilitation Work for an acceptable roof material.
2. Dormer Ventilators - Retain existing eyebrow and shed-roofed dormers; repair and replacement of copper roofing is preferred.
3. Chimneys - Should be retained.

4. Openings - In general, new openings are discouraged. Existing openings should be retained in their original size.
 - a. Doors: Replacement of existing metal doors with wooden, raised-panel doors is acceptable. Retain existing transoms.
 - b. Windows: Replacement of existing metal windows with true divided-light wooden windows would be acceptable and consistent with the original design. The introduction of new window forms, such as bay windows, is not appropriate on facades seen from the street. Replacement of windows on a facade should be consistent across the entire facade. Basement windows and doors may be secured with protective grill-work metal screens, bars or other similar protective treatments.
 - c. Storm Windows and Doors: Storm doors, on rear entrances, finished to match the door color are acceptable. Storm windows finished to match the window color are acceptable.
5. Vents: The use of exhaust vents should be limited and placement of new exhaust vents on a facade should be consistent across the entire facade. See Appendix D, List of Specifications of Appropriate Materials for Maintenance and Rehabilitation Work for an acceptable vent.
6. Air Conditioning Units - Uniform and balanced placement of units, detailed and painted to match the building, is acceptable. Air conditioning units should be installed in a manner least damaging to the historic materials. See Appendix D, List of Specifications of Appropriate Materials for Maintenance and Rehabilitation Work for an acceptable air conditioning grill.
7. Shutters - Replacement or additional shutters must be consistent with existing shutters in style, size, shape and placement. Shutters are allowed on all two-story buildings. It is preferred that shutters not be placed on the three-story building on North Piedmont Street.
8. Door Surrounds - The variety and styles of precast, concrete surrounds around the entry doors are important features and should be retained.

9. Paint - Buildings already painted may be repainted. Unpainted buildings should not be painted. Trim should be painted white or off-white. See Appendix D, List of Specifications of Appropriate Materials for Maintenance and Rehabilitation Work for an acceptable exterior brick paint.
10. Mortar - Replacement mortar should be consistent in color, tooling and texture to original mortar.
11. Belt Courses - Retain decorative concrete bands above the second-story windows.
12. Lighting - Retain and repair original entryway light fixtures or replace with similar substitutes. Where required, decorative and security lighting should be designed and installed in an unobtrusive manner, and mounted in a manner least damaging to historic material. Where possible, lighting fixtures should be used consistently throughout the historic district. See Appendix D, List of Specifications of Appropriate Materials for Maintenance and Rehabilitation Work for an acceptable lighting fixture.
13. Porches - Entry porches and individual ground-level and balcony porches should be retained and not enclosed. Original materials and style for copper roofing, wrought-iron ornament, columns, and railings are preferred.
14. Railings - Repair and replacement of wrought-iron stair and basement railings with matching railings is preferred. Steel pipe railings are not appropriate on street facades.

CHAPTER 5

Guidelines for Residential Areas: New Construction and Additions

A. Introduction

Buildings in Buckingham are fairly uniform with regard to their architecture. Except for one experimental building, built to test the appeal of "Modern Architecture" of austere European Bauhaus origins, the apartment buildings of Buckingham exhibit the popular Colonial Revival Style design. They consist of two-story brick buildings with slate roofs. Entrances are varied and some buildings were painted to provide identity for the individual buildings but, for the most part, the buildings design is very simple and straight forward. (For a more detailed description of the buildings, please see Chapter 4, Guidelines for Residential Areas: Renovation.)

The pattern of the buildings on the site is also uniform; most buildings are sited with their long facade at the street edge or are grouped around a courtyard which opens up to the street. It is recommended that new construction or additions to buildings be guided by the established site patterns and take into consideration the existing design elements and architectural features. It is important to note that the design guidelines are not intended to dictate architectural style nor particular features. Rather, they intend to identify a range of design options that will encourage new development compatible with Buckingham.

New construction, additions and demolition require a Certificate of Appropriateness (CoA). In general, new residential buildings or additions are not encouraged. Any demolition proposed must be accompanied by new construction and landscape plans.

B. Design Elements

1. Massing - The height, length and depth of new construction and additions should be carefully designed to be compatible with existing buildings. Building setbacks should be maintained, and primary facades including main entrances should front the street.
2. Location - New construction and additions must take into account the existing building's siting and landscaping, including open space, large trees, parking and pathways. For information about landscaping please

see Chapter 6, Guidelines for Residential Areas: Landscaping.

3. Form - New construction and additions should follow the existing building lines, or be designed to harmonize with these buildings and patterns.
4. Scale - In new construction and additions, scale should be compatible with existing buildings. New construction should not exceed a height of 30 feet to the parapet for proposed flat roofed structures or a height of 40 feet to the midpoint of a sloped roof structure, with a slope not less than 4/12.

C. Architectural Features

Proposed architectural features for new construction and additions should be compatible with those found in the existing structures. This is especially important with regard to openings and materials. For more guidance on architectural features, please see Chapter 4, Guidelines for Residential Areas: Renovation.

CHAPTER 6

Guidelines for Residential Areas: Landscaping - Renovation

A. Introduction

Buildings, trees, streets and driveways, parking areas, and sidewalks are all interrelated within Buckingham's extensive, accessible open spaces. The three-dimensional relationship between the buildings, open space and landscape features helps form Buckingham's context and defines the character of the open space. It is important that renovation work have a minimal impact on the landscaping and landscape elements, and help maintain and enhance the existing relationship between the buildings, trees, paved areas and open space.

The open space can be divided into formal and informal open spaces. Within formal open spaces areas, the geometric relationship between buildings is a major organizing element. Open spaces are sequentially arranged along an extended imaginary line - an axis - with the size of each space becoming larger and smaller as one proceeds along the axis. This method of organizing open space along an axis continues throughout Buckingham, crossing streets and forming courtyards. The major distinguishing landscape features of the formal open spaces are large mature trees, smaller ornamental trees and foundation shrubs.

Informal open spaces occur in the courtyards between the residential structures, but are not part of a formal geometric scheme. The placement of the mature trees and occasional ornamental trees and shrubs is similar to the formal spaces. The informal spaces also contribute to the overall character of Buckingham.

Large mature trees are the major distinguishing landscape feature in Buckingham. They are found in every courtyard within the residential area along with occasional smaller ornamental trees interspersed. Along the narrow residential streets within the area east of North Glebe Road, mature trees form a canopy which extends over the street. Street improvements or modifications to on-street parking should preserve the trees.

Other landscape features include parking areas, streets and drives, sidewalks, service units and fencing. Parking areas within the villages are functional and character-defining features along the formal axis and cross axis and should be retained. Street improvements or modifications to on-street parking should maintain the narrow residential streets and drives

that are essential to Buckingham's context. Another characteristic of the formal and informal open spaces is the lack of landscape barriers, including fencing and hedges, to define the spaces. This is essential to the perception of open, accessible green space in Buckingham; therefore, fencing in formal and informal open spaces is not encouraged. Renovations to other landscape features should maintain the existing landscape character.

The repair and replacement of landscape features using matching materials does not require a Certificate of Appropriateness (CoA). Repairs and renovations that change the design, materials, color, size or siting of the existing landscaping and landscape features require a CoA.

B. Landscape Features

1. Open Space - Maintenance and retention of formal and informal spaces and their relationships with buildings, mature trees and other landscape features is encouraged.
2. Developed Passive Recreation Areas - Along the street in residential areas, the existing character of front yards with walkways, providing areas for walking/sitting, should be maintained.
3. Large Trees - The mature tree canopy along many of Buckingham's residential streets is an important urban design landscape feature and should be maintained.
4. Parking Areas - Residential on-street parking and brick-walled parking areas should be maintained.
5. Streets and Drives - The narrow residential streets and drives are essential to Buckingham's character. The original street profile should be maintained, including pavement, and curb and gutter sections, and other related details. Asphalt streets according to County standards are appropriate. Concrete paving is appropriate for curbs and gutters.
6. Sidewalks - Paving that has the same material and details as original paving is acceptable.
7. Lighting - Retain and repair original entryway light fixtures or replace with similar substitutes. Where required, decorative and security lighting should be

designed and installed in an unobtrusive manner, and mounted in a manner least damaging to historic material. Where possible, the same lighting fixtures should be used consistently throughout the historic district. See Appendix D, List of Specifications of Appropriate Materials for Maintenance and Rehabilitation Work for an acceptable lighting fixture.

8. Fences - Fencing to screen utility equipment such as trash receptacles is permitted. Barrier, privacy and perimeter fencing are discouraged. Existing brick walls around parking areas should be maintained.
9. Service Units - Consist of flat-roofed one-story brick service buildings surrounded by open yards which are enclosed by brick walls. They should be maintained. New service units should be compatible with existing buildings and landscape features, and original service units.
10. Trash Collection Areas - These areas are currently screened with wood fencing or with brick wall enclosures. They should be retained, and planting to screen the areas is acceptable.
11. Trash Receptacles - Use of compactors or other types of trash receptacles is acceptable.

CHAPTER 6

Guidelines for Residential Areas: Landscaping

- New Construction and Additions

A. Introduction

Buildings, trees, streets and driveways, parking areas, and sidewalks are all interrelated within Buckingham's extensive, accessible open spaces. The three-dimensional relationship between the buildings, open space and landscape features helps form Buckingham's context and defines the character of the open space. (Please see Chapter 6, Guidelines for Residential Areas: Landscaping - Renovation for a description of Buckingham's open space character).

New construction and additions should respect Buckingham's extensive, accessible open spaces; changes to the landscaping and landscape features should retain the existing design concepts. Important axial views should not be interrupted or blocked. Additions and new construction should not occupy formal open spaces or create massing that destroys the original landscaping concepts. Within the informal open spaces, new structures should be placed in a manner which maintains Buckingham's overall open space character.

New parking areas within the villages should not be placed within formal open spaces. Parking areas, drives, sidewalks and paths located within informal open spaces should be compatible with existing landscape design and features, particularly the large trees. Active and passive recreation areas should be available for the residents. In general, landscaping and landscape features should not screen buildings from view.

New construction and additions require a Certificate of Appropriateness (CoA).

B. Landscape Features

1. Open Space - Should be compatible with existing landscape design and features.
2. Developed Passive Recreation Areas - Should be compatible with existing landscape design and features.
3. Developed Active Recreation Areas - Within the residential areas, the open courtyards are available for informal recreation. The character of these areas should be maintained. Informal recreation areas,

including pools, children's play equipment and benches are appropriate.

4. Large Trees and Shrubs - New street trees at the perimeter of the villages should be planted in the same pattern as existing trees. Shrubbery should not screen buildings from view.
5. Parking Areas - New parking areas within the villages should not be placed within formal open spaces. Parking areas should be compatible with existing landscape design and features, particularly the large trees.
6. Streets and Drives - Should be compatible with existing landscape design and features, particularly the large trees. The original street profile should be the model for new streets, including pavement, and curb and gutter sections, and other related details. Asphalt streets according to County standards are appropriate. Concrete paving is appropriate for curbs and gutters.
7. Sidewalks and Paths - New sidewalks that have the same material and details as original paving are acceptable; new sidewalks should only be introduced at the perimeter of the villages. Paths made of permeable material may be used elsewhere.
8. Lighting - Where required, decorative and security lighting should be designed and installed in an unobtrusive manner, and mounted in a manner least damaging to historic material. Where possible, the same lighting fixtures should be used consistently throughout the historic district. See Appendix D, List of Specifications of Appropriate Materials for Maintenance and Rehabilitation Work for an acceptable lighting fixture.
9. Fences - Fencing to screen utility equipment such as trash receptacles is permitted. Barrier, privacy and perimeter fencing are discouraged.
10. Trash Collection Areas - See Chapter 6, Guidelines for Residential Areas: Landscaping - Renovation, #10.
11. Trash Receptacles - See Chapter 6, Guidelines for Residential Areas: Landscaping - Renovation, #11.
12. Street Furnishing - Street furniture is appropriate for residential areas.

CHAPTER 7

Guidelines for Residential Areas: Signage

A. Introduction

New or additional signage will be allowed in Buckingham compatible with existing signage. Building and/or property identification signage will be allowed. Building address signage may be affixed to the building facade with materials and style compatible with building style. However, changes to existing signage or the addition of new signage should be undertaken in a manner least damaging to the historic material.

Exterior repair and replacement of existing signage using matching materials does not require a Certificate of Appropriateness (CoA). Exterior repairs and renovations that change the design, materials, color, size or siting of the existing signage and new signage require a CoA. These guidelines supplement Arlington County's Zoning Ordinance.

CHAPTER 8

Guidelines for Commercial Areas: Renovation

A. Introduction

Built between 1937 and 1946, the original commercial structures in Buckingham were distinguished by the simplicity and straightforward character of their design. Stylistically consistent in their use of traditional brick detailing similar to but simpler than their residential counterparts, they have been altered over time in a remarkably consistent manner. While now more complex in visual content than the original, these alterations have taken on a significance of their own in the evolution of Buckingham as a community landmark.

The resulting architectural expression reflects a changing response to the market and economic realities of the post-depression World War II era and beyond. Stylistically mixed, the commercial buildings now combine the original simplified Georgian Revival and newer streamlined modern alterations in a manner that creates a rich and yet consistent and harmonious interweaving of the two styles. The resulting composition, sets up an interesting transition between the traditional and more severe residential components at the edges and the streamlined, modern, automatic oriented commercial components centered on the intersection of North Glebe Road and Pershing Drive.

Following is detailed description of the commercial buildings in Buckingham. The description is divided into quadrants around the intersection of Pershing Drive which runs east and west; and North Glebe Road which runs north and south.

The Northeast Quadrant This quadrant has three distinct zones. The southern end has simple, modular, modern detailing utilizing limestone and polished granite as the principal facade materials along with aluminum and glass storefronts. The middle section is a very simple piece forming a straightforward transition, executed in painted brick, from the modern on the south to the simplified Georgian on the north. The north end is differentiated, not only stylistically, but by being two stories in height, as opposed to the one story height of the middle and southern portions. The upper story windows are six-over-six, double-hung wood sash, which have as their sill a belt course of limestone which ties into the coping of the one story portions. The continuity of this belt course/coping ties the entire composition together, and perhaps, establishes a precedent for a future addition of commercial office space above the one-story portion.

All of the ground floor storefronts are very simple with the exception of the two entrances on the northern portion which have a slightly elaborated "framing" of the entry utilizing a stepped regression of stacked and soldier bonding around the opening. The other storefronts have a transom panel above the modern awning housing which is above door-head height. The transom panel is clad in ribbed stainless steel found characteristically in the streamlined modern architecture of the period.

The Southeast Quadrant This quadrant, like its northeast counterpart across Pershing Drive, has three basic elements of its composition. The simplified Georgian Revival Theater (now the post office) transitions from the adjacent traditionally styled residential structures to the south. The middle section, like its counterpart, is a very simple and straightforward one-story storefront element that transitions between the Georgian Revival architecture of the theater with its distinctive four-columned portico and the streamlined modern of the bank on the end nearest Pershing Drive. The bank portion has the same simple, clean, modern lines as its counterpart across Pershing Drive with a modular stacked coursing of its limestone cladding. Like its counterpart, the bank also uses polished red-brown granite to define a base. Unlike the northeast quadrant, the bank has a 6" wide limestone trim band projecting 2" from the plane of the wall which surrounds the storefront windows and a combined storefront and night depository element on the corner. This corner element has had an ATM machine integrated into its design.

Like the northeast quadrant, the storefronts in the middle section are simple and straightforward with a transom element above a ribbed stainless steel clad band above the door awning level which divides the show windows from this transom feature.

The Southwest Quadrant The southwest quadrant was designed in such a way as to break down the contrast in scales between the smaller bank building which fronts on North Glebe Road and the larger drug store which fronts on Pershing Drive. The facade of the drug store element is modulated into three bays, similar in scale to the bank, plus an angled corner bay which makes a subtle response to the angled bay of the northeast quadrant. Along Pershing Drive, the bay rhythm continues the system from the North Glebe Road facade.

The Northwest Quadrant The northwest quadrant contains two separate elements, a grocery store and a two unit commercial structure which formerly housed the Buckingham Post Office (now the El Paso Mexican Restaurant) and a storefront currently housing a convenience store. The market structure deviates from the pattern established in the three other quadrants by not using

the limestone and granite combination at the corner of Glebe and Pershing. In addition, this structure, which is almost entirely unpainted red brick, favors North Glebe Road for its entrance facade while turning a very plain and undistinguished facade (including the loading dock) toward Pershing Drive and the drug store opposite. The North Glebe Road facade, which has acquired a banal entrance structure addition, is very simple and undecorated except for a modest pattern of white bricks above the storefront. While not totally without architectural merit, the market structure is not nearly as distinguished as its counterparts in the three other quadrants.

The post office/storefront building followed the pattern established across Pershing Drive in the southwest quadrant in its use of limestone and polished red-brown granite as the principal facade materials. The storefront portion follows the model established for commercial shops in the other quadrants with its simple, straightforward storefront window and entrance with transom glazing above the show window and entrance. The post office, however, was designed on a different pattern using smaller "punched" windows with granite below the sills and a center, more formal entrance with granite embellishment overhead and identifying graphics carved into the stone. This post office element has been modified to an architecture evoking the restaurant's theme.

As with the residential sections of the guidelines, exterior repair and replacement using the matching materials does not require a Certificate of Appropriateness (CoA). Interior modifications also do not require a CoA. Exterior repairs and renovations that change the design, materials, color, size or siting of the existing structures or landscape; new construction; additions; and demolition require a CoA.

B. Design Elements

For guidance with renovation work which may impact the massing, location, form and scale of the existing buildings, please see Chapter 9, Guidelines for Commercial Areas: New Construction and Additions.

C. Architectural Features

Like the residential buildings, the most important issue to take into consideration when considering the renovation of historic commercial buildings is the treatment of the original

material. Although recognizing that stylistic features may need to be changed, it is important that new elements such as signage, awnings, lighting, etc., be affixed in such a manner as to not irreversibly alter the original architectural details and materials. For example, when considering a CoA application which proposes new awnings on a facade, a primary concern of HALRB's will be with the manner in which the awnings are attached to the historic material. In this case, for instance, the HALRB would prefer the awning be hung from the original awning housing or housing location above the doors and windows.

The renovation of architectural features should restore to the extent possible, the original detailing and materials. Changes to the original design which have not contributed positively to the historical evolution of the design (as noted for each quadrant above) may be removed and the original design restored where possible. Following are the distinguishing architectural features, as outlined above, which will be of concern to the HALRB during renovations:

1. Stone and brick coursing, patterns and profiles.
2. Storefront pattern and materials.
3. Coping, belt course.
4. Door and window openings and patterns.
5. Roof forms and materials where visible.
6. Materials.

CHAPTER 9

Guidelines for Commercial Areas: New Construction and Additions

A. Introduction

The commercial structures in Buckingham are distinguished by the simplicity and straightforward character of their design. Stylistically mixed, the commercial buildings combine simplified Georgian Revival and streamlined modern elements in a manner that transitions from the more traditional style at the edges, where it meets the Georgian of the housing, to the clean, modern lines at the commercial intersection at Pershing Drive and Glebe Road; the streamlined modern elements were a later additions. The commercial buildings were built between 1937 and 1946, and their architectural expression reflects a changing response to the market and economic realities of the time. (For a more detailed description of the commercial buildings, please see *Chapter 8, Guidelines for Commercial Areas: Renovation.*)

New construction and additions should distinguish themselves as such and be designed in a mode that is "of its own time". However, the most important design element to be compatible with when considering new construction or additions is the massing of the existing commercial buildings.

Below are general descriptions regarding the massing of new construction and additions. The information is divided into quadrants around the intersection of Pershing Drive which runs east and west; and North Glebe Road which runs north and south. Specific design elements and architectural features guidelines follow.

The Northeast Quadrant The massing of the existing grouping in the Northeast quadrant emphasizes the north end of the building, away from the Glebe/Pershing intersection, by placing a second story office element above the two end stores. This end is given additional emphasis by being pulled forward toward Glebe Road. This massing taken together with its southern counterpart (with the taller Theater structure), creates a well defined commercial strip with strongly defined edges.

The Southeast Quadrant The massing of the existing grouping of the Southeast quadrant emphasizes the west end of the building, away from the Glebe/Pershing intersection, by placing a second story office element above the two end stores. This massing, taken together with its northern counterpart, and with the two-story element on its west end, creates a well defined commercial strip with strongly defined edges.

The Southwest Quadrant The massing of the existing grouping of the Southwest quadrant, as mentioned above, is modulated to create the appearance of smaller storefront units.

The Northwest Quadrant In proposing additions and new construction in the Northwest quadrant access to sunlight and the sale of the adjacent structures should be considered.

Additions and new construction require a CoA.

B. Design Elements

The following design elements will be of concern to the HALRB in its determination of the appropriateness of new construction or additions in all four quadrants.

1. Massing - The height, length and depth of the existing complex emphasizes the Glebe/Pershing intersection. This massing creates a well defined commercial strip with strongly defined edges. The massing of any addition or new construction should be carefully designed to harmonize with the existing buildings and should respect the relationship of the commercial structures to the residential structures.
2. Location - The location of any addition or new construction should take into account its relationship to the existing original parking and circulation layouts, the existing building walls and openings and pedestrian circulation patterns.
3. Form - The form of the existing group of buildings is a rather sophisticated response to the geometry of the Glebe/Pershing intersection and the parking and circulation patterns established by the site plan. Any addition or new construction should follow the existing building lines, or be designed carefully to harmonize with these buildings and patterns.
4. Scale - The scale of the existing grouping is in proportion to the adjacent residential structures, even though it has larger floor to floor heights and roof forms. Any addition or new construction should be designed to fit with the scale of the existing commercial structures and the adjacent residential building.

C. Architectural Features

1. Architectural Features - Any new architectural features, eg. trim, belt courses, copings, etc., should utilize similar or compatible shapes, proportions, profiles and detailing to the existing building.
2. Openings - Door and window openings of the existing buildings are very simple and straightforward with only a slight elaboration of the entrances of the two-story portion of the building. The openings of any addition or new construction should follow the lead established by the existing buildings, keeping the openings simple and of the same scale as the existing openings.
3. Materials - Materials utilized in any addition or new construction should harmonize with the existing materials but should also help to distinguish the addition/new construction from the original construction.

CHAPTER 10

Guidelines for Commercial Areas: Landscaping - Renovation, New Construction and Additions

A. Introduction

The commercial area along North Glebe Road has two main elements. The first is the portion on either side of North Glebe Road beginning at Quincy Street and continuing to the south for one block past Pershing Drive. In this area the parking in front of the existing commercial area forms an important element of open space. This space allows visibility of the shop fronts as well as vehicular and pedestrian circulation. The setback improves the ability of both auto and pedestrian traffic to read storefront signage. In addition, the pedestrian pathways diverge allowing passage adjacent to Glebe Road as well as adjacent to the shop fronts. On the opposite side of Glebe Road, the setback is much less with shop fronts very close to the main street.

The second significant area of commercial open space is along both sides of Pershing Drive and east of North Glebe Road, the retail structures are well set back. To the west of North Glebe Road and north of Pershing Drive, several small shops and restaurants with distinct facades provide visual interest. The large stores are mostly blank facades and do not contribute to the overall visual interest along the street. To the south along Pershing Drive a similar situation is found with one large unarticulated store facade. On both sides of the street, the parking area defines the open space. The opportunity exists for pedestrians to walk both adjacent to stores and along the street.

The repair and replacement of landscape features using matching materials does not require a Certificate of Appropriateness (CoA). Repairs and renovations that change the design, materials, color, size or siting of the existing landscaping and landscape features require a CoA. New construction and additions to the landscaping require a CoA.

B. Landscape Features

1. Open Space - Contributes significantly to the character of the commercial area and should be preserved.
2. Setbacks - Any new retail structure should maintain the existing setback and open space to the east of North Glebe Road.

3. Parking - For the retail areas to the north and south of Pershing Drive, the parking areas should be maintained and pedestrian walking surfaces encouraged.
4. Street Trees - Should be encouraged.

CHAPTER 11

Guidelines for Commercial Areas: Signage

A. Introduction

The purpose of these guidelines is to maintain commercial advertising while preserving and protecting the historic buildings. Signs reminiscent of the 40s are not required; rather, signs should be compatible with the function and scale of buildings in a neighborhood shopping center and the proximity of residential neighborhoods. Changes to existing signage or the addition of new signage should be undertaken in a manner least damaging to the historic material.

Exterior repair and replacement to the signage using matching materials does not require a Certificate of Appropriateness (CoA). Exterior repairs and renovations that change the design, materials, color, or size of signage require a CoA. New signage or additions to signage require a CoA.

1. Placement of signs in areas originally designed for signs is preferred.
2. Signs should not cover architectural features such as window sills, rooflines, cornices or belt courses, etc.
3. Signs applied directly to the building must not permanently damage the building.
4. Neon signs are appropriate.
5. The use of awnings in their original mechanisms is encouraged; retractable awnings are preferred.
6. Roof signs are not permitted.
7. Temporary signs removed or changed within 30 days or less do not require review.

APPENDIX A

Demolition or Relocation of a Building

It is the policy of the Historical Affairs and Landmark Review Board to maintain historic buildings on their original sites. In rare instances, the relocation of buildings to sites within the historic district will be considered in lieu of demolition. In those cases, the relevant parts of these guidelines should be considered so that buildings moved to such sites are compatible with the surrounding buildings and are suitably situated on the lot. Removal or demolition of part or all of a building or structure, including walls and service units, requires a Certificate of Appropriateness.

APPENDIX B

Limited Glossary

The terms selected for this glossary were compiled from several sources and were chosen because they describe elements commonly found in the Buckingham Historic District.

Definitions

Architectural features - The architectural parts of a building or structure.

Awning - A roof-like structure, often of canvas, that serves as shelter over a window.

Balustrade - A railing that is composed of a hand railing resting on vertical members or balusters; often the part of a porch installed between the porch supports.

Bay - A part of a building that projects or recedes, and often incorporates windows or windows and doors that are related horizontally or vertically.

Bracket - A support element under eaves, shelves or other overhangs, often more decorative than functional.

Building - A roofed and walled structure.

Canopy - A projection or hood over a window, door, or entrance.

Casement - A window, the sash of which are hinged on the side or jamb of its frame.

Certificate of Appropriateness - A permit that must be applied for and received from the Historical Affairs and Landmark Review Board before certain changes can be made to a house or other structure within a neighborhood historic district.

Column - A supporting pillar.

Compatible - Being in agreement or harmony, but not necessarily the same. Free from elements causing discord.

Consistent - Agreement or harmony of parts.

Cornice - A projecting ornamental molding along the top of a wall and beneath the roof line of a structure.

Coursing - A continuous level row of brick or masonry throughout a wall.

Coping - The top part of a wall.

Door surrounds - Pre-cast concrete detail around entry doors.

Dormer - A structure projecting from a sloping roof with a window or ventilating louvers.

Eaves - The edge of a roof that projects over an outside wall.

Elevation - A drawing of one face or facade of a building.

Facade - The outside front wall of a building.

Fascia - A flat board or surface that is part of the cornice under the roof eave.

Fencing, barrier and screening - A permanent structure that functions as a boundary or barrier, usually constructed of posts, boards, wire or rails.

Filler panels - Materials other than glass which are used to fill in window openings to make them smaller.

Flat roof - A horizontal covering of the top of a building.

Foundation - The base on which a structure stands or is supported.

Gable - Triangular wall segments at the end of a double pitch or gable roof.

Hipped roof, hip roof - A roof with slopes on all four sides.

Landscape features - Permanent landscape elements, such as streets, drives, parking, sidewalks, paths, fencing, service units, lighting, large trees, permanent outdoor furniture, and trash collection areas and trash receptacles.

Large tree - A tree that is at least 15 inches in diameter at 4 feet height.

Light - A pane of glass, a window, or a compartment of a window.

Lintel - A horizontal structural member (similar to a beam) over an opening which carries the weight of the wall above it; usually of steel, stone or wood.

Louver - One of a series of overlapping boards to admit air and exclude rain; often used in shutters or vents.

Matching - Visually the same in design, color, texture; identical; in-kind.

Mortar - The mix, of ingredients which may include cement, clay sand, lime and water used in masonry.

Muntin - A secondary framing member to hold panes within a window, window wall, or glazed door; also called a glazing bar or sash bar.

Pediment - A wide low-pitch gable surmounting the facade of a building in a classical style; any similar crowning element used over doors, windows and niches.

Pier - A solid masonry support commonly used as a foundation element under porches and houses.

Pitch - Degree of angle or slope.

Repointing - Process by which replacement mortar is applied to existing masonry walls in places where old mortar has eroded.

Same - Matching in visual appearance and material.

Sash - The framework in which panes of glass are set in a window or door.

Service Unit - Flat roofed, one-story brick buildings surrounded by open yards which are enclosed by brick walls.

Shed Dormer - A dormer window whose eave line is parallel to the eave line of the main roof.

Shed roof, pent roof - A roof shape having only one sloping plane.

Shutters - Usually a hinged movable cover for a window or door. In Buckingham the shutters are not hinged or movable.

Side light - A framed area of fixed glass alongside a door or window opening.

Sill - A horizontal timber, at the bottom of the frame of a wood structure, which rests on the foundation. A door sill. the horizontal bottom member of a window frame or other frame.

Similar - Having resemblance but not identical.

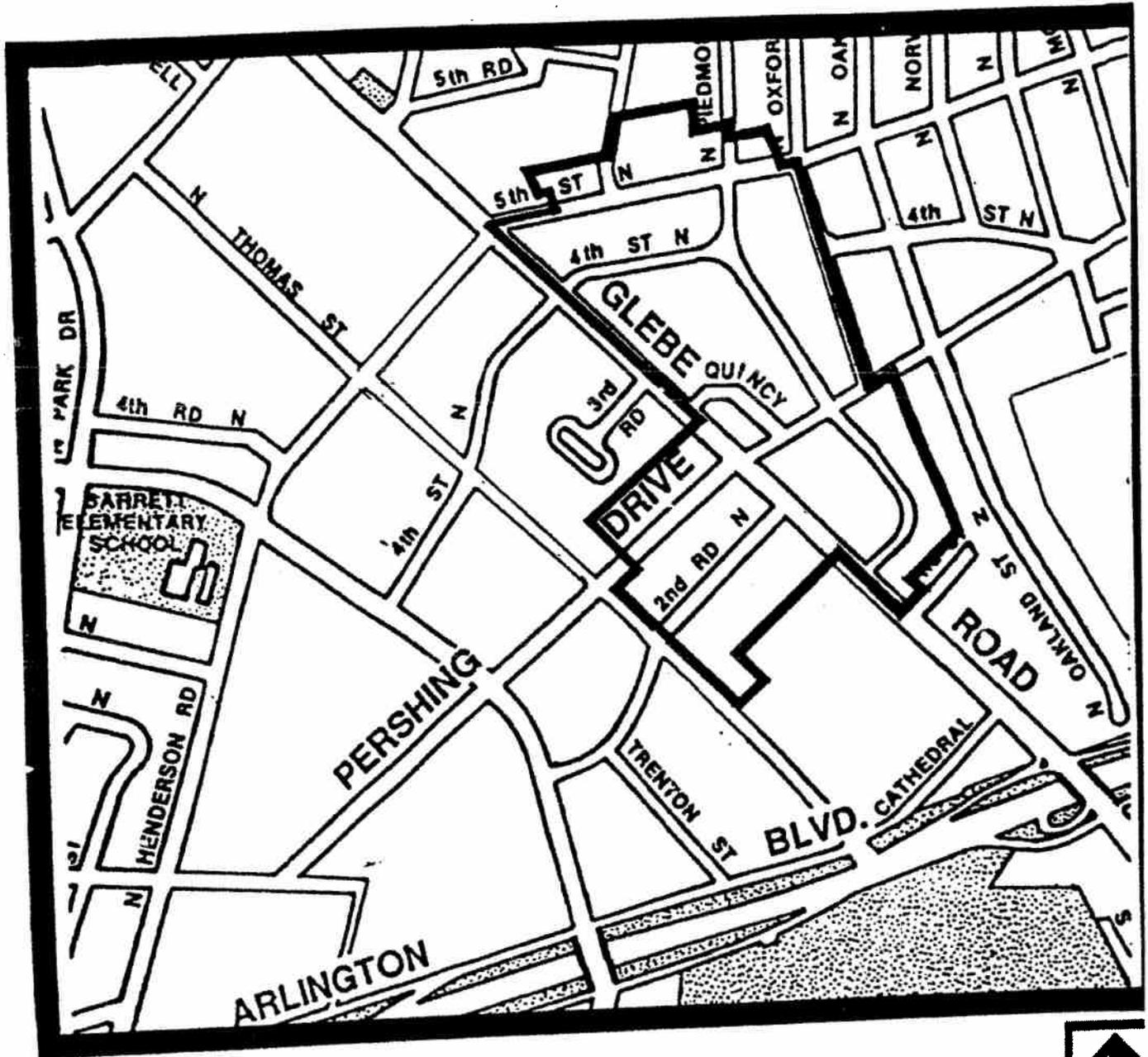
Streetscape - The combined visual image that is presented by all the physical elements found from building front to building front.

Stucco - An exterior finish, usually textured; composed of portland cement lime, and sand, which are mixed with water.

Transom - A small, often hinged, window above another window or door.

Vernacular - Popular building style which evolved naturally according to common usage.

APPENDIX C
Map of Buckingham Historic District



APPENDIX D

List of Specifications of Appropriate Materials for Maintenance and Rehabilitation Work

This Appendix supplements the Buckingham Historic District Guidelines. In keeping with the guidelines, the Appendix offers specific materials appropriate for maintenance and rehabilitation work. The following List of Specifications provides examples of possible substitute materials appropriate for changes. The list is only a suggestion; others may be proposed by the owners.

As with all modifications, maintenance and renovation work which uses matching materials does not require a Certificate of Appropriateness (CoA). Interior modifications also do not require a CoA. However, when considering maintenance and rehabilitation work, owners in Buckingham must obtain a CoA prior to any exterior modifications that would change the design, materials, color, size or siting of the existing structures or landscape; new construction; additions; and demolition. This includes maintenance and rehabilitation work which uses the material specifications listed below.

List of Specifications

1. Roofing

*GAF Building Materials Corporation - Slateline
Fiberglass Class A Asphalt Roof Shingles*

2. Exterior Brick Paint

*Duron Exterior Colors - October Frost (5391W) and
Colonial White (5350W)*

3. Air Conditioning Grills

*United Technological Carrier - 52BQ-905-051 in dark
bronze finish or painted to match brick*

4. Aluminum vent

*Riesener - Type "C" cast aluminum vent brick, painted
to match brick*

5. Site Lighting

Post is Sentry Electric Corporation -
SAL-SQ in aluminum, pre-finished black

Lantern is Sentry Electric Corporation - SUB in black

6. Security Lighting

Stonco SLA Mini-Flood, surface box mounting

**MCoA PROCESS FOR SLATE ROOFS
IN THE
BUCKINGHAM HISTORIC DISTRICT**

In making a request for replacement roofing materials in the Buckingham Historic District, an applicant must demonstrate that efforts to maintain the original roofing materials have been made. In the event that the original slate can not be feasibly maintained or replaced in kind, an applicant may request replacement roofing if the following standard is met:

The Applicant requests the approval for the use of asphalt shingles (GAF Slate Line or Elk Capstone) as a replacement material for slate when the continued maintenance of the slate roofs is no longer feasible as defined below.

The MCoA Roofing Standard for the Buckingham Historic District stipulates that an applicant can replace slate roofs with asphalt shingles roofs when:

1. A qualified roofing expert has inspected the roof and made the comparison of the total maintenance costs of the slate roof over the projected life of an asphalt shingle replacement roof, which is generally 30 years.
2. A qualified roofing expert has made the comparison of the above maintenance costs to the total cost of replacing the roof with asphalt shingles (30 Year Warranty, GAF Slate Line or Elk Capstone).
3. Qualified County staff and/or an independent qualified roofing expert as chosen by County staff must review the documentation for the roof in question and verify that the figures are reasonable and relevant to the condition of the roof.
4. If the cost of maintaining the slate roof for 30 years or the cost of necessary replacement of the slate roof is 2 times as much as the cost of replacing the roof with asphalt shingles, then it is determined that the continued maintenance, repair and/or replacement of the slate roof would not be a feasible alternative.

If the applicant meets the criteria of Steps 1, 2, 3 and 4 for a particular roof, then an applicant is permitted to request shingle replacement roofing from the DRC. The review is undertaken on a case by case basis. With the

established standard, an applicant can be assured with reasonable certainty that a request to replace slate with shingles will be approved under the approved MCoA process.

DEFINITIONS

Projected Life - the anticipated life of an asphalt shingle roof as determined by the manufacturer and a roofing contractor, and guaranteed through a warranty.

Qualified County Staff - the Chief of the Arlington County Building Division or his/her duly appointed representative, who has demonstrated experience and knowledge with roofing materials, installation, maintenance and costs

Qualified Roofing Expert - a state licensed, Class "A" roofing contractor, who is duly certified to perform both slate and asphalt roofing installation, maintenance, repair and replacement in the Commonwealth of Virginia and Arlington County.

Total Maintenance Costs - the costs associated with maintaining an existing slate roof over a life of thirty years, which may include the following: repair, partial replacement in-kind, patching, slate in-fill, and other reasonable maintenance measures.

Please refer to the **Buckingham Design Guidelines** for further information.

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HISTORICAL AFFAIRS AND LANDMARK REVIEW BOARD

**BUCKINGHAM HISTORIC DISTRICT
MCoA CRITERIA**

JUNE 1998

TABLE OF CONTENTS

Introduction.....	3
Section 1 How to Apply for a Master Certificate of Appropriateness.....	4
Section 2 Criteria for a Master Certificate of Appropriateness	5
I. Building Mounted Signs	5
A. Removal	5
B. Size.....	5
C. Location	5
D. Material	6
E. Color	6
F. Design and Illumination.....	6
II. Window Sign.....	8
A. Removal	8
B. Size.....	8
C. Location	8
D. Material	8
III. Awnings.....	8
A. Removal	8
B. Configuration.....	8
C. Material	10
D. Color	10
Appendix 1 Approved Colors.....	11
Appendix 2 Approved Typefaces	12



Introduction

Since the designation of the Buckingham Historic District, many Certificates of Appropriateness (CoA) have been approved for signs and awnings in the commercial area. To expedite the issuance of these routine applications, the Master Certificate of Appropriateness process has been developed. This process allows applications that exactly match the following criteria to be automatically approved and the CoA can be issued within five days rather than the usual thirty to sixty days. The following criteria are in conformance with, but more specific than, the Buckingham Historic District Guidelines.



Section 1 How to Apply for a Master Certificate of Appropriateness

- A. Completed Master Certificates of Appropriateness applications are accepted on a continuous basis. Please call the Historic Preservation Program at (703) 228-3830 to request an application.

- B. Applications will be reviewed by staff for completeness. Typically, a complete application will include a plat showing the location of the proposed work, photographs of the existing conditions, elevation of the site showing the proposed alteration including specifications for the proposed sign and/or awning, and samples of materials and colors. Incomplete applications will be returned to the applicant for additional information.

- C. Staff will review complete applications for conformance with the MCoA specifications described in Section 2. If the proposed work exactly meets the specifications, the CoA will be issued by staff within five (5) working days of submission of the complete application.

Section 2 Criteria for a Master Certificate of Appropriateness

I. Building Mounted Signs

Any exterior sign attached to a building, but not including window signs.

A. Removal

1. Signs of any type, design, or material may be removed.

B. Size

1. No new sign shall be larger than 2'-0" high x 7'-0" wide.
2. Existing sign-boxes may be refaced to same size.

C. Location

1. All building mounted signs shall be placed in the sign band area, the area originally designed for display of tenant identification see Figure 1.
2. A sign for a business on the first floor shall be centered in the sign band above the associated business' storefront.
3. A sign for a business on the second floor shall be located in the sign band.
4. Existing sign-boxes that are being refaced may remain in their current location.

Figure 1. Buckingham Center Signband.

D. Material

1. Signs shall be made of vinyl covered MDO plywood or other synthetic material that does not have a relief of more than 2".

E. Color

1. Sign background color shall be one of the approved colors in Appendix 1.
2. Sign background color shall be one color only and be paint applied or integral with the sign material.
3. Sign lettering shall be white as approved in Appendix 1, painted or flat vinyl applied.

F. Design and Illumination

1. Sign lettering shall be configured on one or two lines, see Figure 2.

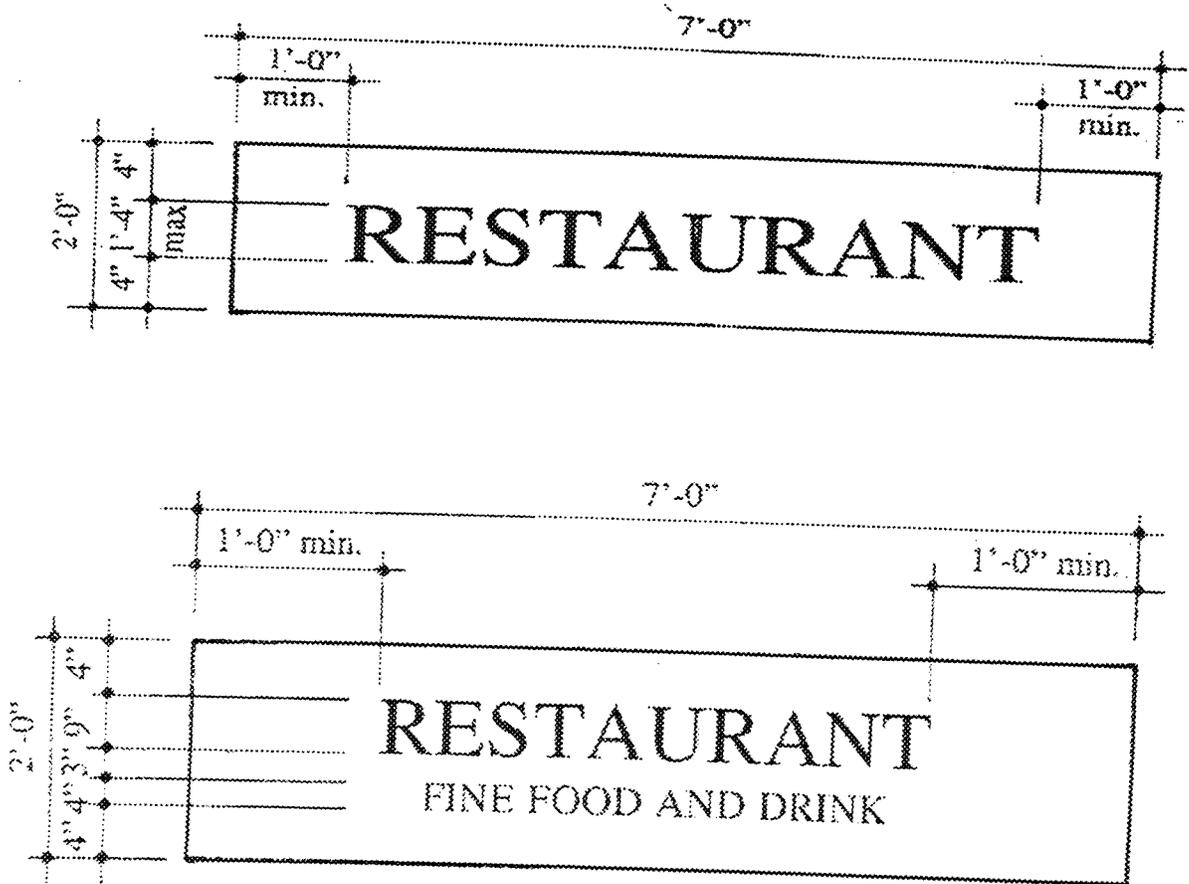


Figure 2. Sign Lettering Configuration.

2. Sign letting shall be selected from the list of approved font styles in Appendix 2.
3. Externally illuminated signs shall be lighted with surface mounted linear fixtures from above per Figure 3.

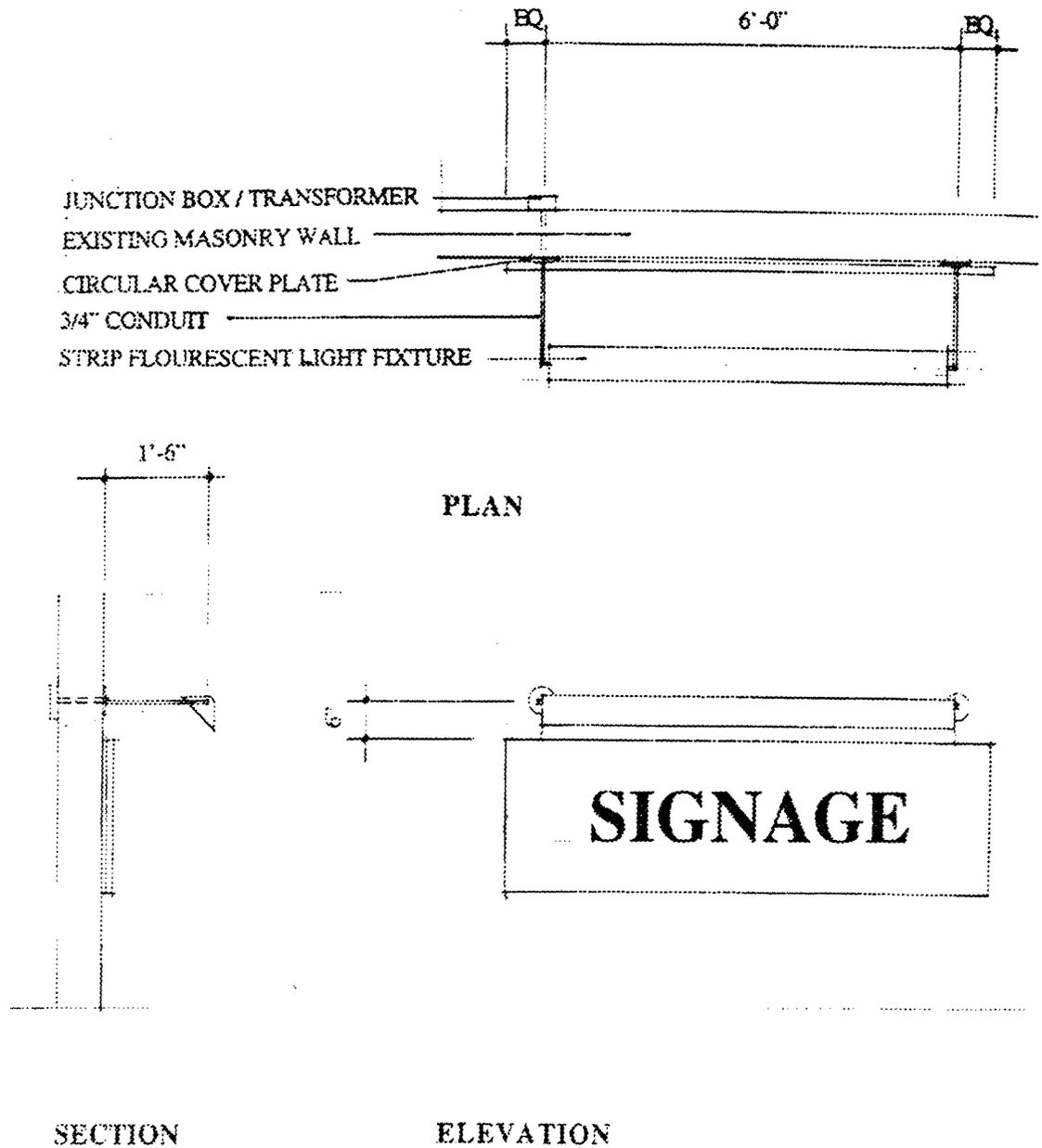


Figure 3. Sign Lighting Configuration.

4. With the exception of neon lettering, all signs shall be unlit or externally illuminated. Single line exposed white neon letters complying with approved sizes and fonts shall be permitted.
5. Individual cut-out, protruding, back-lit, internally illuminated or similar letters shall not be permitted.
6. Existing sign-boxes that are being refaced may be maintained.

II. Window Sign

Any sign located on a window or located inside within 18" of the window.

A. Removal

1. Signs of any type, design, or material may be removed.

B. Size

1. Signs shall be limited to the maximum area defined by the Arlington County Zoning Ordinance.

C. Location

1. Signs are permitted in the storefront window(s) of the businesses on the first floor.
2. Signs shall be organized to be visually balanced with the storefront window(s).

D. Material

1. Signage lettering shall be painted or vinyl applied on the inside face of the storefront window(s).
2. Neon outlined signs, suspended on the interior shall be permitted.

III. Awnings

A. Removal

1. Awnings of any non-original type, design, or material may be removed.

B. Configuration

1. Fixed or retractable awnings shall be permitted.

2. Awnings may have solid or open end panels.
3. Size and location shall be configured per Figure 4.

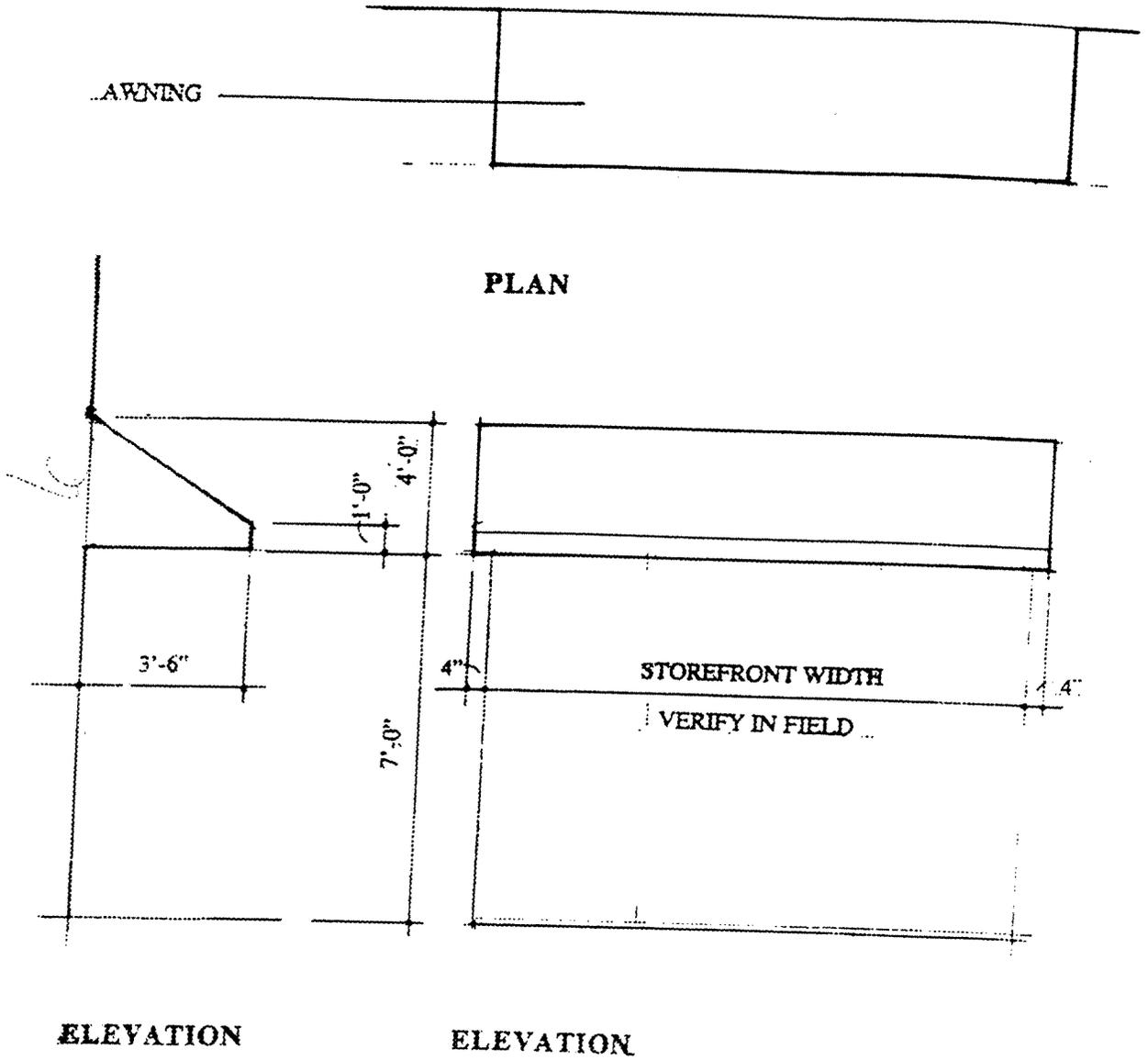


Figure 4. Awning Size and Configuration.

4. Awnings shall have an apron of not more than 9" and no less than 6". The apron edge shall be flat.
5. No lettering or graphics is permitted on awnings, except that address numbers, white in color, no larger than 4" in height, and in approved fonts, see Appendix 2, will be allowed.

C. Material

1. Awning material shall be canvas or vinyl.
2. PVC pipe awning framing shall not be permitted.

D. Color

1. Awnings shall be one of the approved colors in Appendix 1.
2. Awnings shall match the dark background color of the corresponding sign.

Appendix 1 Approved Colors

PANTONE COLORS

BLACK

BLACK C AND PROCESS BLACK C

412 C AND U

419 C AND U

BROWN

140 C AND U

1405 C AND U

1545 C AND U

1615 C AND U

BURGUNDY

175 C AND U

181 C AND U

1817 C AND U

BLUE

276 C AND U

2766 C AND U

2767 C AND U

2757 C AND U

2768 C AND U

2758 C AND U

282 C AND U

289 C AND U

2965 C AND U

BLUE/GREEN

303 C AND U

GREEN

3302 C AND U

3308 C AND U

343 C AND U

3435 C AND U

Appendix 2 Approved Typefaces

- | | | |
|----|-------------------|-----------|
| A. | RESTAURANT | TIMES |
| B. | RESTAURANT | HELVETICA |
| C. | RESTAURANT | NEW YORK |
| D. | RESTAURANT | PALANTINO |

- 1112 South Forest Drive
- 1117 South Forest Drive
- 4647 South Third Street
- 803 North Highlands Street
- 1706 North 22nd Street
- 1720 North 22nd Street
- 1721 North 22nd Street
- 1702 North 22nd Street
- Neighborhoods Worthy of Further Study
 1. Lyon Park
 2. Barcroft
- Lustron Multiple Property Study
 1. 5200 South 12th Street
 2. 1124 South Frederick Street
 3. 5201 South 12th Street
 4. 1112 South Forest Drive
 5. 1117 South Forest Drive
 6. 4647 South Third Street
 7. 2915 South 7th Street

Key to Abbreviations:

H.D.: Arlington County Historic District
 N.H.D.: Neighborhood Historic District
 V.L.R.: Virginia Landmarks Register
 N.R.: National Register of Historic Places
 NHL: National Historic Landmark

APPROVED UNANIMOUSLY BY HALRB – July 20, 2005

Amendments to Buckingham Historic District Guidelines

1. Amend Chapter 4.C.1, to read as follows:

“Roofs – Retain existing roof forms; repair and replacement of original slate is preferred. Any substitute roof material should be of a similar color (hue and intensity), shape, and size as the original slate; asphalt roofing shingles thus are inappropriate for Buckingham. For guidelines on porch roofs, see Porches, #12, page 9. See Appendix D, List of Specifications of Appropriate Materials for Maintenance and Rehabilitation Work for an acceptable roof material.” (Note: proposed new language highlighted for clarity)

2. Replace existing Appendix D, List of Specifications, Item 1, with the following new language:

“Roofing

Slate substitutes specifically designed to mimic the appearance of slate are appropriate, assuming they meet the criteria outlined in Chapter 4.C.1.”

3. Repeal existing MCOA for Slate Roofs in Buckingham Historic District

Neon Signage Guidelines for the Buckingham Shopping Center

Street Level Merchants: Main Illuminated Sign on Building

- All sign face plates will be the length of the window awning
- All sign face plates will be 20 " (inches) high
- All sign face plates to be installed 6 " (inches) above the top of the awning
- All sign boxes will be 4 " (inches) deep
- All sign boxes to be 4" (inches) recessed from all sides of face plate
- All sign boxes will be black in color
- Copy not to exceed sign face plate length less 12 " (inches) (6 " left and right)
- Copy not to exceed sign face plate height less 6" (inches) (3" top and bottom)
- All one line lettering to be no more than 14 " (inches) high centered in the sign panel
- All two line lettering to respect top, bottom, and side tolerances listed above
- All lettering to be on a black face plate
- All lettering to be white neon
- All lettering under the neon tubing to be white flat vinyl cutout letters
- Color neon accents permitted on sign faces
- No moving neon signage permitted
- Logos will be permitted on sign faces
- No phone, fax, e-mail numbers will be allowed on signs
- Transformers to be remote, to be mounted inside tenant space
- All signs to be approved by the Design Review Committee (DRC) of the HALRB
- Only one sign, designated to the first awning, will be allowed on the sides of the Shopping Center

Second Floor Tenants: Main Illuminated Sign on Building

- All tenants will have name on the one mounted sign reserved for 2nd floor occupants.
- Main sign to be hung at stairtower entrance, to the right of the 2nd floor window
- Sign copy to be white neon
- Sign copy reserved for name of business only

Approved by HALRB, January 17, 2001

Policy on Satellite Dishes in Buckingham

The Buckingham Historic District Design Guidelines do not address satellite dishes. When the Guidelines were written, the units at Historic Ballston Park and the Gates of Ballston were all rental units and no renters were allowed to place a satellite dish in the common areas of these complexes.

Today, satellite dishes are no more than twelve inches in diameter and are easily mounted on a window frame. Because of these advancements, several of these small satellite dishes are found in the Buckingham Historic District, where renters have begun to subscribe to these services and have been placing them outside their windows.

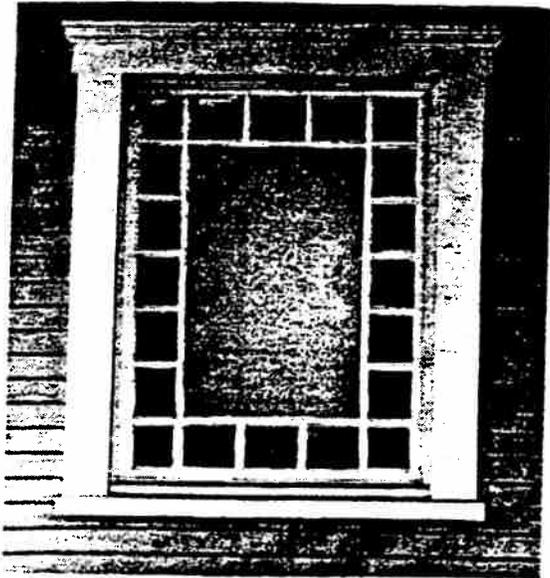
The question of regulating these smaller satellite dishes has been raised. It is the opinion of staff that these small satellite dishes do not need to be approved through the CoA process. The reasons are as follows:

- As technology advances, these dishes will get smaller or cease to be needed;
- They are not permanently fixed to the building;
- They are leased through subscriber services and thus temporary in nature.

Additional considerations in the Buckingham Historic District include:

- The satellite dishes are leased by the renters;
- The Complex owners do not provide for satellite dish services;
- There is a yearly 50% turn-over of renters in the Buckingham complexes, thus the small satellite dishes are frequently installed and then removed.

The Historic Preservation Inspector will communicate to all property owners and unit renters that satellite dishes cannot be installed, and/or removed, in such a manner as to harm important historic fabric on a historic building. This communication will be done in several ways: through community newsletters; through a simple letter to those owning satellite dishes; and through discussions with the various property managers in the Buckingham Historic District. The Historic Preservation Inspector will discuss this issue with individuals who have placed their satellite dishes inappropriately in regards to important historic fabric.



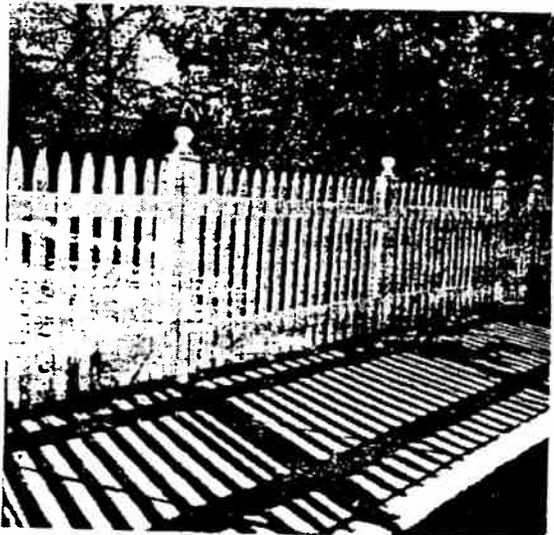
MAYWOOD

HOMEOWNER'S HANDBOOK:
DESIGN GUIDELINES



MAYWOOD NEIGHBORHOOD
HISTORIC DISTRICT

ARLINGTON, VIRGINIA



Arlington County
Historical Affairs and Landmark Review Board

2100 Clarendon Boulevard
Suite 700
Arlington, Virginia 22201

(703) 228-3830

ORIGINAL - TO BE REMOVED



TABLE OF CONTENTS

1. Introduction	1
2. A Brief History of Maywood	3
3. When Design Review is Required	5
4. Looking at Your House	8
5. Guidelines for New Construction and Additions	10
Locating Your New House	10
<i>Setback</i>	10
<i>Spacing Between Buildings</i>	10
Massing	12
<i>Simple / Complex Form</i>	12
<i>Directional Expression</i>	13
<i>Porches</i>	14
<i>Roof Form</i>	14
Scale	15
<i>Number of Stories</i>	17
<i>Height of First Floor Above Grade</i>	17
<i>Floor-to-Floor Heights</i>	17
<i>Porch Heights</i>	18
Openings	18
<i>Relationship of Solids to Voids</i>	18
<i>Windows</i>	20
<i>Shutters</i>	21
<i>Doors</i>	21
Architectural Features	21
<i>Materials</i>	21
<i>Elements</i>	22
<i>Details</i>	22
6. Guidelines for Renovation	24
Additions	24
Materials	25
Roof	26
Openings	26
<i>Doors</i>	26
<i>Windows</i>	26
<i>Shutters</i>	27
<i>Window Air Conditioner Units</i>	27
<i>Storm Windows and Doors</i>	28
<i>Dormers and Skylights</i>	28

Distinguishing Architectural Features	
<i>Porches</i>	
<i>Chimneys</i>	
<i>Gable Ends</i>	
Painting	
Architectural Details	
<i>Trim</i>	
<i>Accessories</i>	
<i>Awnings</i>	
7. Utility Equipment	3
Electrical and Telephone Connections	3
Air Conditioner Units and Heat Pumps	3
Solar Collectors and Satellite Dishes	3
8. Landscaping and Site Elements	31
Outbuildings	31
Large Trees	31
Retaining Walls	31
Fences	31
Automobile Parking Area	31
Paving Materials	34
Exterior Lighting Fixtures	34
9. Streetscape and Public Spaces	35
Street Paving	35
Curbs and Gutters	35
Sidewalks	35
Signs	35
Street Lighting	35
Utility Service Equipment and Street Furniture	35
Parks, Open Space and Streetscape	35
10. Demolition or Relocation of a Building	36
APPENDICES	
A. Limited Glossary	37
B. Neighborhood Historic District	
Zoning Information	41
C. Certificate of Appropriateness Process	53
D. Map of Maywood Neighborhood	
Historic District	55

1. INTRODUCTION



Maywood is a special neighborhood. It is one of the oldest of Arlington's residential districts. Its distinctive appearance is the result of a pleasing mixture of architectural styles on tree-lined streets. Front porches, steep roofs, wood siding, shingle patterns, and abundant landscaping all help contribute to the unique character that is Maywood. While there is a rich variety of details that add visual interest to the neighborhood, there is an overall consistency of scale, form and materials in Maywood.

To recognize and protect these special qualities, Maywood is being considered as Arlington's first neighborhood historic district. This designation will provide a design review process for exterior changes to properties in Maywood. These changes will require the preliminary step of having plans reviewed by the Historical Affairs and Landmark Review Board in which a Certificate of Appropriateness permit is obtained.

These design guidelines have been developed to provide guidance to property owners in Maywood as they plan changes to the exterior of their homes. They were drafted by the Historical Affairs and Landmark Review Board with the assistance of the residents of Maywood to aid property owners in planning for the renovation, new construction, additions, relocation or demolition of structures in the Maywood Historic District, and to assist the review board in evaluating such plans.

This neighborhood historic district designation does not require home owners to improve or modify their properties, but if exterior changes are desired, these guidelines will provide design assistance in this review process. The guidelines recognize that change in the neighborhood is a natural part of the continuing evolution in its development. If carefully managed, change can permit full use and enjoyment by today's residents while retaining and enhancing the special qualities of the Maywood Historic District.

There is an important point to remember when using the guidelines: every building is unique. Even houses that look identical at first glance have details or characteristics that set them apart from others. This means that what is appropriate for one building may not be appropriate for another. Each building must be looked at on an individual basis both by the property owner and by the review board.

These guidelines are not intended to dictate architectural style nor to require particular architectural features. Rather, they identify a range of design options which will encourage preservation and new development compatible with the existing character of the Maywood Historic District. In the design review process, economic feasibility, durability, design integrity and harmony of proposed improvements are all important concerns.

Residents do not want their neighborhood to become frozen in time and they do not live in a museum setting. The purpose of reviewing new construction is not to require that new buildings take on the appearance of being old, or attempt to mimic architecture of a time past. Instead, new construction is most appropriate when it relates comfortably to its neighboring historic homes. In this way, the varied architecture of Maywood and personal tastes of the owners will continue to add to the charm of the neighborhood.

2. A BRIEF HISTORY OF MAYWOOD

The Maywood Historic District lies on a hilly site between Lee Highway and Lorcom Lane, bounded on the east by I-66 and on the west by North Nelson Street. Located just north of the earlier crossroads community of Cherrydale, Maywood is among the best remaining examples of Arlington's early trolley suburbs. In 1906 the Great Falls and Old Dominion Railway opened a line through Cherrydale, making it possible for workers to live in what was then the country and commute easily to their jobs in the city. A second track was laid in 1908, and rapid growth soon followed.

The Conservative Realty Company was one of a number of development companies that quickly recognized the area's potential. The company was organized in 1909 by John Harsha and Hugh Thrift. Mr. Thrift was married to Mr. Harsha's daughter Mary ("May"), and local lore has it that Maywood was named for her. From 1909 until 1913, the Conservative Realty Company bought some 73 acres of land and subdivided it to form Maywood.

Early ads for house lots in Maywood touted it as "one car fare to any part of the city." Convenient transportation, reasonable price and a more rural setting were the main selling points. Federal government employees and skilled workers, especially those in the building trades, were the principal buyers.

The majority of the lots were developed by 1920. Community life centered on the social and commercial buildings lining Lee Highway, especially the school (where Camelot Hall nursing home is presently located) and the Cherrydale Volunteer Fire Department, the first in the County. By 1928, Maywood had some 400 residents.

Maywood's early houses, particularly those built in its first three decades of development, reflect the trend toward simple, practical, unpretentious styles. Most were made of wood with concrete or brick foundations and metal roofs. Although the houses take a variety of forms, they share certain basic features such as re-

peated shapes, similarity in size and width, covered porches, steep roofs, raised foundations and vertical windows. The lots are narrow and deep, with the houses set close to the street.

Maywood's houses reflect popular vernacular styles of early twentieth century architecture, including bungalows, homesteads, American foursquares, and various revival styles. Few, if any, of Maywood's houses were architect-designed. Many were constructed by local builders, two of whom built homes for themselves in Maywood: John Smithdeal (2100 N. Irving Street) and Lachlan MacPherson (3210 23rd Street, N.). A number were kit houses, purchased from mail-order companies such as Sears, Roebuck & Company and Aladdin, and then assembled on site by local carpenters. Life in Maywood has continued to reflect a strong sense of neighborhood over the years. A number of families have resided there for several generations, contributing to its continuing stability.

The 1960s saw the demolition of a number of houses in the east end of the neighborhood to make way for I-66 and also brought apartment development along the neighborhood's southern edge. In response to these intrusions, Maywood's residents worked together to formulate one of the first Neighborhood Conservation Plans in Arlington, approved by the County Board in 1965. Today, compared with early twentieth century Arlington neighborhoods such as Ballston, Courtlands, and Ft. Myer Heights, Maywood has remained remarkably intact.

Maywood owes its birth and early development to the coming of the railroad in the early twentieth century. It derives its historical significance from the fact that it is one of the earliest and most intact of Arlington County's trolley car suburbs. While changing with the times, it has managed to retain its sense of identity and community throughout its history.

3. WHEN DESIGN REVIEW IS REQUIRED

In order to preserve the special qualities of Maywood, certain changes to the exterior of properties will require the preliminary step of having home owner's plans reviewed by the Historical Affairs and Landmark Review Board (HALRB) through a design review process in which the Certificate of Appropriateness is obtained. A diagram outlining the steps on this process is included on page 7 and a Certificate of Appropriateness Application Form can be found in Appendix C.

Property owners in Maywood are required to obtain a Certificate of Appropriateness prior to any exterior modifications, new construction, or demolition which would cause an exterior change in either the design, materials, size or siting of the existing structure or the property. Interior modifications are exempt from review and do not require a Certificate of Appropriateness nor do many items of normal exterior house maintenance.

Most modifications which would require the Certificate of Appropriateness also require a building permit. Home owners should contact the Arlington County Zoning Office to find out when a building permit is needed. However, there are some changes to properties within a neighborhood historic district which need a Certificate of Appropriateness even when a building permit is not required. Some of these are removing shutters; replacing a front door with one of a different design; and placing an air conditioning unit through an outside wall.

The Certificate of Appropriateness is not required for:

1. Repair, replacement and ordinary maintenance of exterior features using like materials of like design.
2. Any interior modifications or renovations.
3. General landscaping, preparation and maintenance of lawns, shrubbery, flower beds and gardens.
4. Paving repair using like material of like design.
5. Exterior painting of, and paint colors on, surfaces previously painted including wood, brick or stucco.
6. Movable items and accessories such as window air

conditioners, storm windows and doors, outdoor furniture, temporary swimming pools, mailboxes, house numbers, outdoor light fixtures and outdoor toys.

7. Placement or replacement of gutters.
8. In the event that an emergency occurs, most repairs would fall under the Ordinary Maintenance definition found in the Zoning Ordinance (see Appendix B), which permits repair using like material and like design without a Certificate of Appropriateness. Repairs using a different material or design would require a Certificate of Appropriateness.

Items Requiring a Certificate of Appropriateness (whether or not an Arlington County Building Permit is required):

1. Repair or replacement of roofs, siding, external doors and windows, awnings, trim, and other features with different materials and/or a different design.
2. Removal or demolition of part or all of a building or structure, including outbuildings.
3. Any new construction or enlargement, addition, modification or alteration of the exterior of an existing building.
4. Removal, replacement or enclosure of porches.
5. Change in or alteration of materials including installation of siding, shingles or masonry facing.
6. Permanent removal of shutters.
7. Painting on previously unpainted brick, or the removal of paint on masonry.
8. Repointing of brick with different material, texture and/or design; exterior sandblasting.
9. New paving or modification of paving materials.
10. Installation or removal of fencing or fence/walls.
11. Removal, installation or modification of permanent signs.
12. Removal of large trees (measuring at least 15" diameter at 4' height).
13. Any other action which is not ordinary maintenance but which modifies, alters or otherwise affects the exterior features of a building, structure, site or other feature within the historic district.

Special Conditions

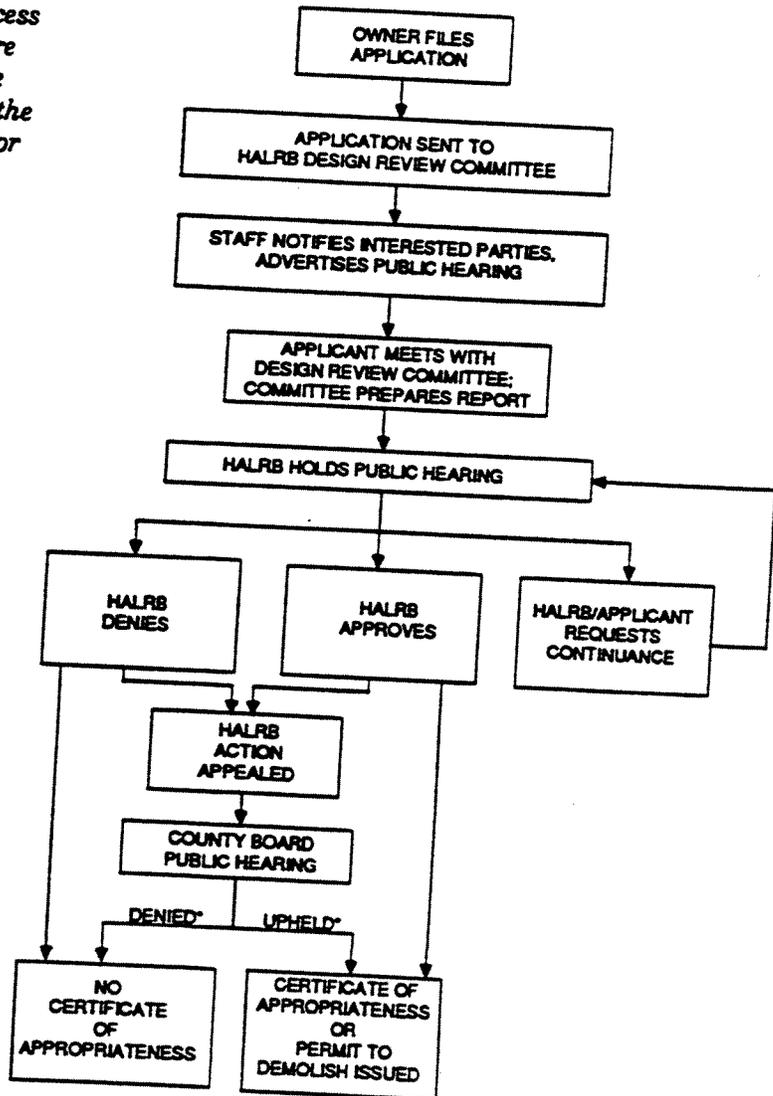
Emergency Tree Removal: A Certificate of Appropriateness is required for the removal of a large tree (at least 15" diameter at 4' height). A Certificate of Appropriateness is not required to remove a fallen tree or to remove a tree when danger appears imminent.

Access for the Handicapped: Modifications to how to allow access for handicapped persons are permitted. When emergency access is required, short term temporary facilities, such as a ramp, may be provided for a period of three months without a Certificate of Appropriateness. At the end of the three month period, owners should request an extension to keep the temporary modification in place for an additional three months. After six months, a Certificate of Appropriateness is required to replace the temporary modification with a permanent modification.

Reminder

It is important to remember that these design guidelines do not replace existing requirements of the zoning ordinance or building codes. It is the property owner's responsibility to comply with all existing county, state and federal laws and codes.

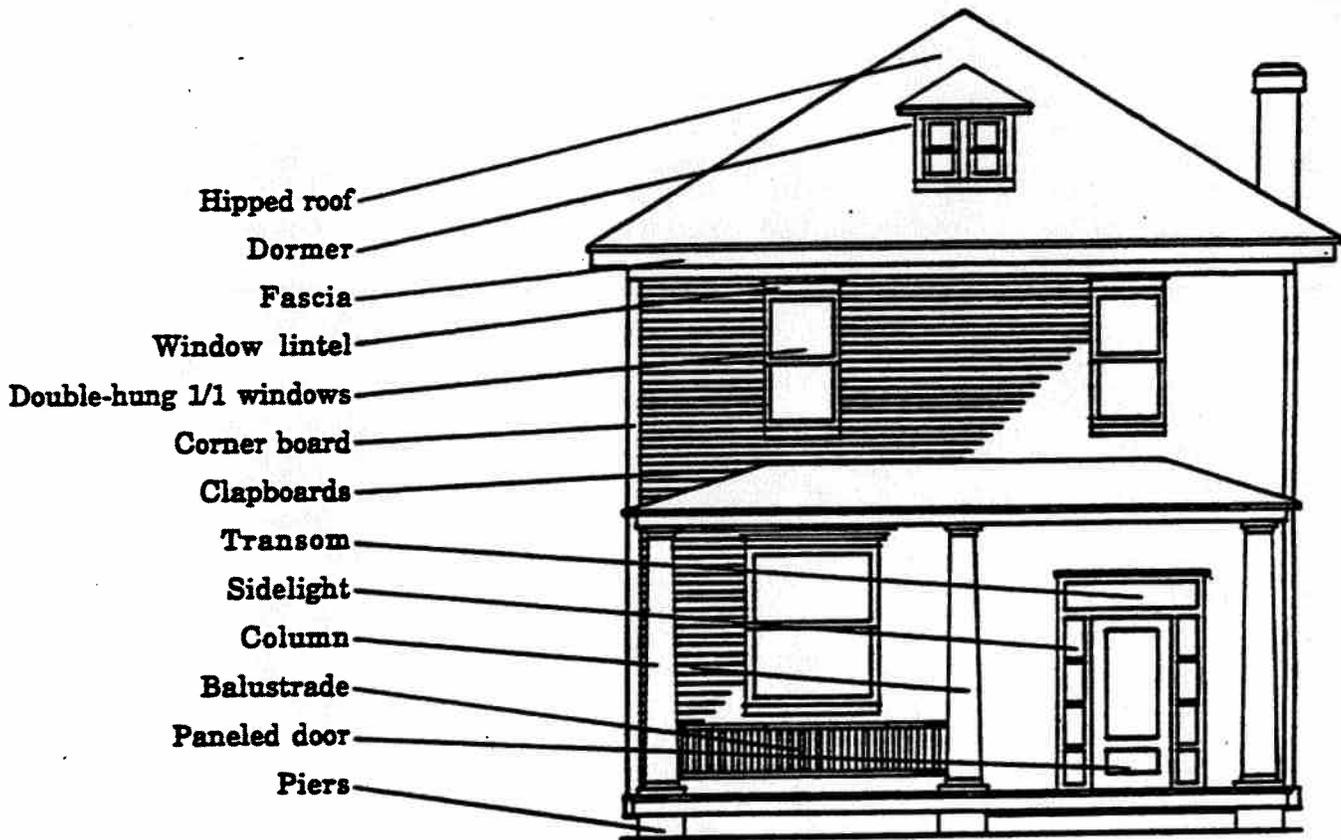
This chart shows the design review process for Maywood home owners when they are making changes to their properties. The HALRB Design Review Committee and the full HALRB meet monthly. Calendars for monthly meetings are available at the Cherrydale Library, 2190 Military Road and at the Community Improvement Division, Suite 701, Court House Plaza, 2100 Clarendon Boulevard.

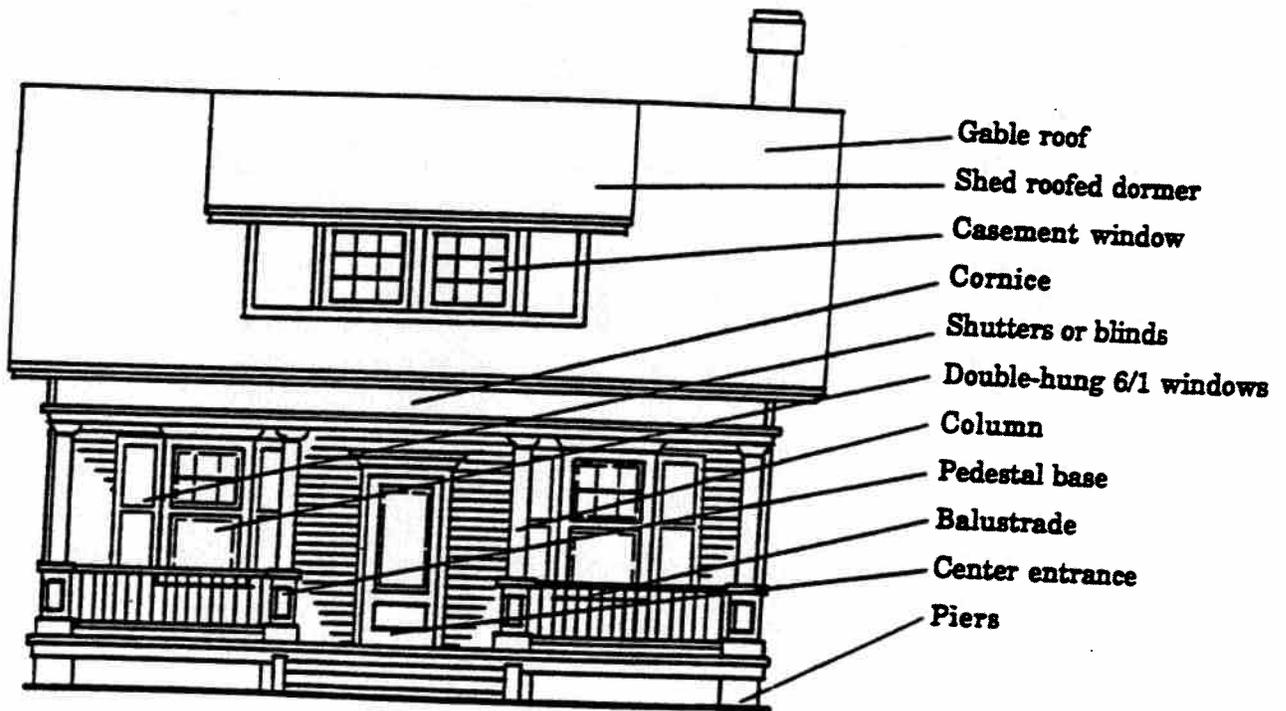


*DECISIONS OF THE COUNTY BOARD MAY BE APPEALED TO THE CIRCUIT COURT OF ARLINGTON COUNTY

4. LOOKING AT YOUR HOUSE

In order to better understand the distinctive architecture of Maywood, it is important to identify the individual elements that make up a typical house. While there are many different styles of houses in Maywood, the following two drawings show various architectural features found throughout the neighborhood.





5. GUIDELINES FOR NEW CONSTRUCTION AND ADDITIONS

Many factors help define the overall character of Maywood and contribute to its distinctive appearance. In order to respect the architectural character of the neighborhood, the following criteria should be considered in planning new construction and additions in Maywood:

LOCATING YOUR NEW HOUSE
MASSING
SCALE
OPENINGS
ARCHITECTURAL FEATURES

LOCATING YOUR NEW HOUSE

Placing a building on a lot is the first step in making sure that your new house respects the architectural character of the street. The two critical dimensions are how far the new house is placed from the street (set-back), and how much space there is between the new house and the existing houses on each side.

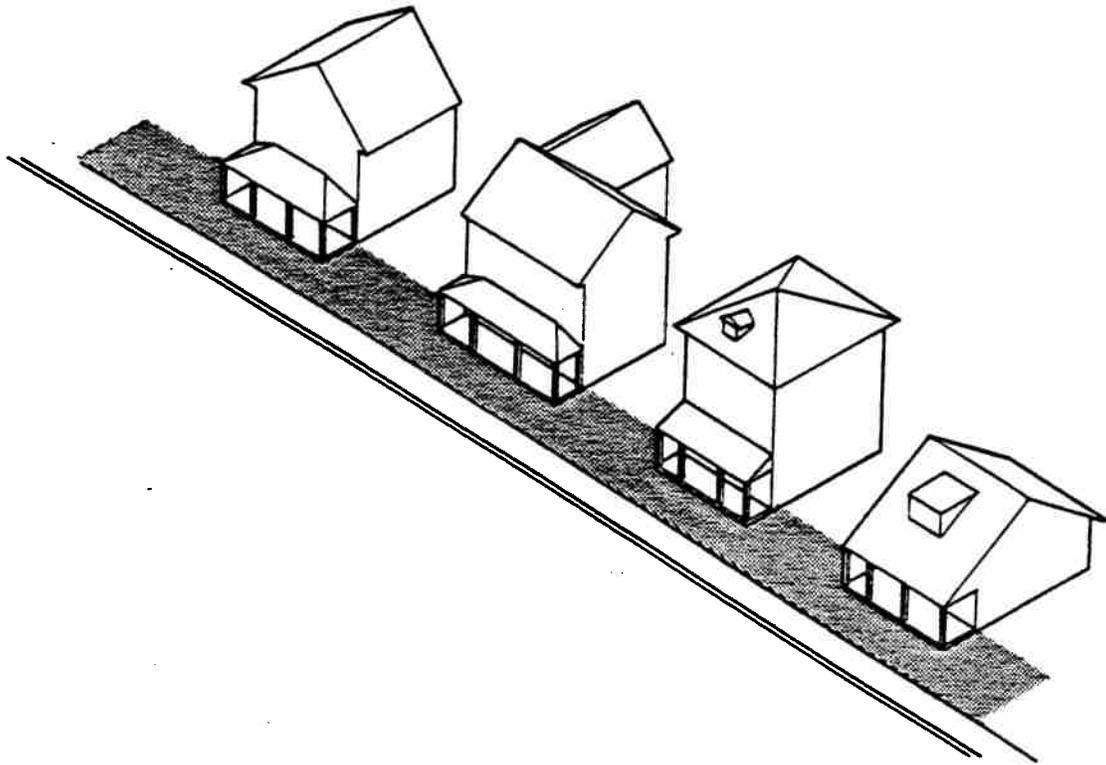
SETBACK

The setbacks vary within the historic district but are generally consistent along individual streets. To the extent possible within zoning requirements, setbacks for new houses and accessory buildings should respect the existing prevailing setback dimensions of the block in which they will be located. Setbacks for porches as well as for the main facade should be consistent within individual blocks.

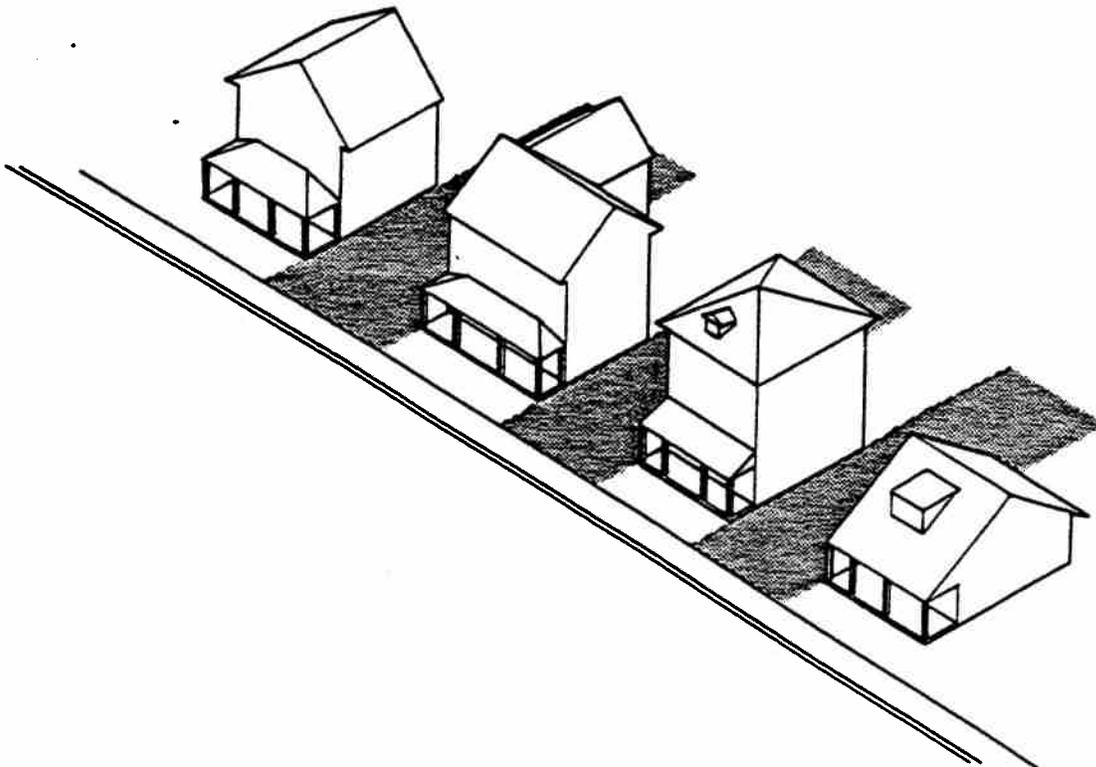
SPACING BETWEEN BUILDINGS

In Maywood there is no uniform pattern of spacing between buildings. However, there is often continuity or a similar rhythm of spaces created within individual blocks. Along some blocks houses are close together, while in others the open space of side yards is the predominant feature. To the extent possible within zoning requirements, new buildings or additions should reflect the existing spacing pattern of the block in which they will be located.

This bird's-eye view shows the generally consistent setback of a typical block that should be followed in the construction of new houses in Maywood.



Spacing between new and existing houses should be consistent with spacing of typical blocks in Maywood.



MASSING

The mass of a building relates to its overall form and area. Massing is defined by the relationship of a building's width, height, and depth. It is affected by the existence of porches, bay windows, and significant projections or recesses from the primary walls.

There are numerous massing variations found in Maywood houses because of the wide variety of architectural styles and because many houses have later additions. New construction or significant additions to existing houses in Maywood should be compatible with the prevailing massing characteristics of neighboring buildings. The following key elements relate to massing:

Massing is defined by the relationship of height, width, and depth of a house.

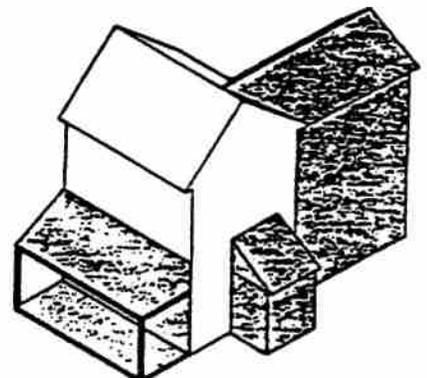
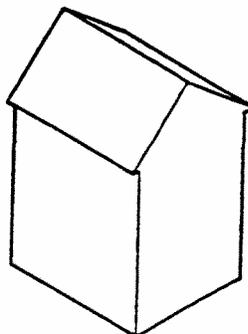


SIMPLE/COMPLEX FORM

While one style of house may present a simple box-like image, another home may appear as a complex grouping of attached smaller building blocks. In some cases of new construction, the floor area of a large house can appear smaller by using the technique of dividing the space among smaller building blocks.

Simple Form

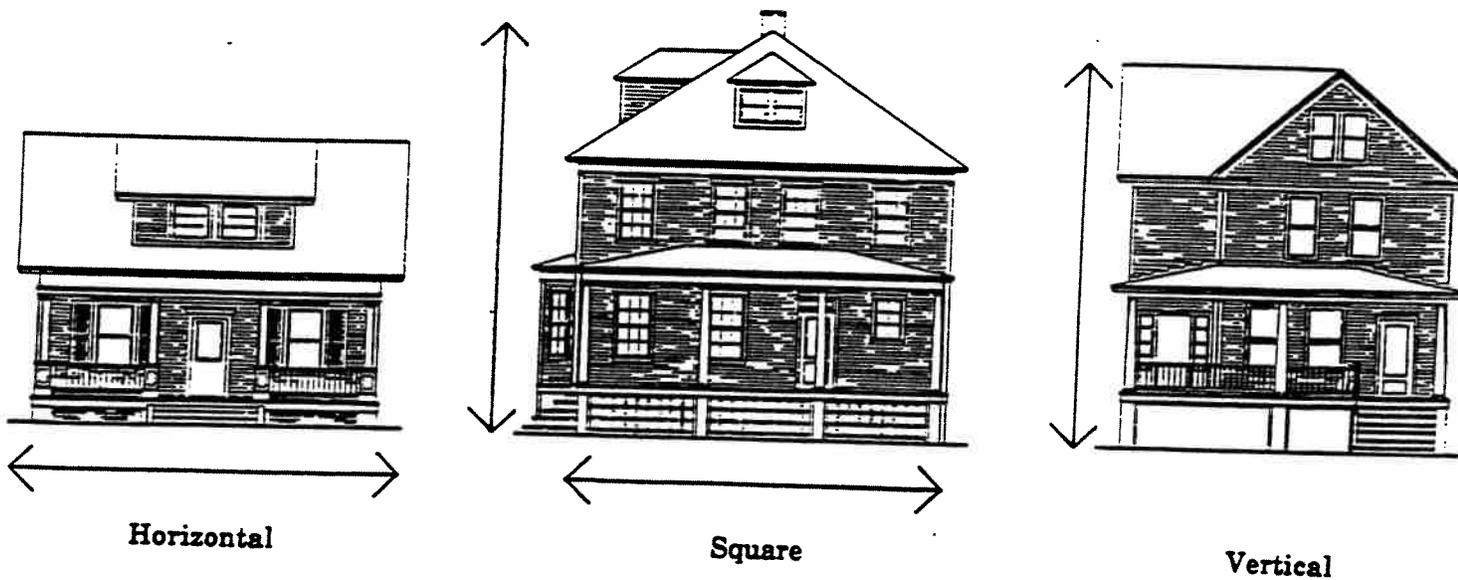
Complex Form



DIRECTIONAL EXPRESSION

The relationship of the width of a house to its height may give the facade of the house a vertical, horizontal or a square image. A new structure should be compatible with the historic character of Maywood, but with special attention to the prevailing image within the immediate surroundings.

Directional expression of a building may be horizontal, vertical or square.



PORCHES

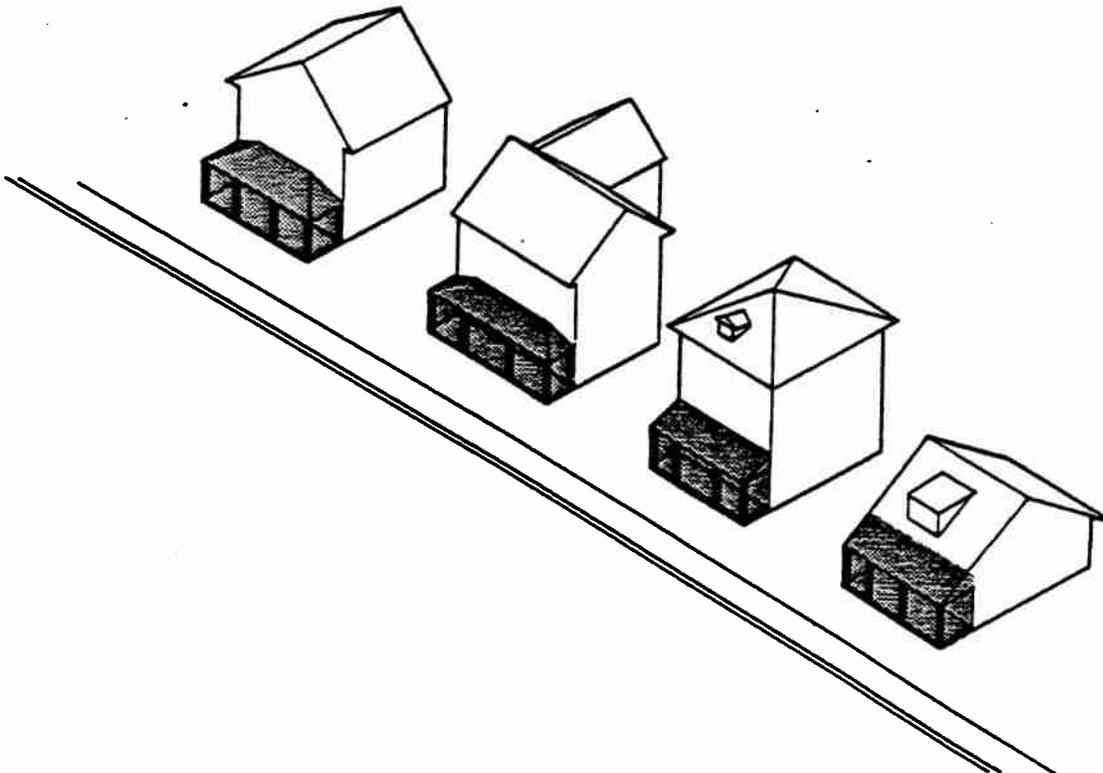
Porches are one of the most important architectural features that create Maywood's special character. Porches and porch roofs help define massing by breaking up the flat plane of the facade and adding depth to the appearance of the house from the street. They also help unify Maywood's diverse architectural styles. Additions and new structures should respect the use of porches in Maywood and be compatible in overall design, depth, height, and roof shape with other homes on the block.

ROOF FORM

The type and complexity of the roof design also help to define massing. A roof's pitch or degree of slope, its height, and the number and relationship of gables and hipped forms are important in establishing the mass of a building.

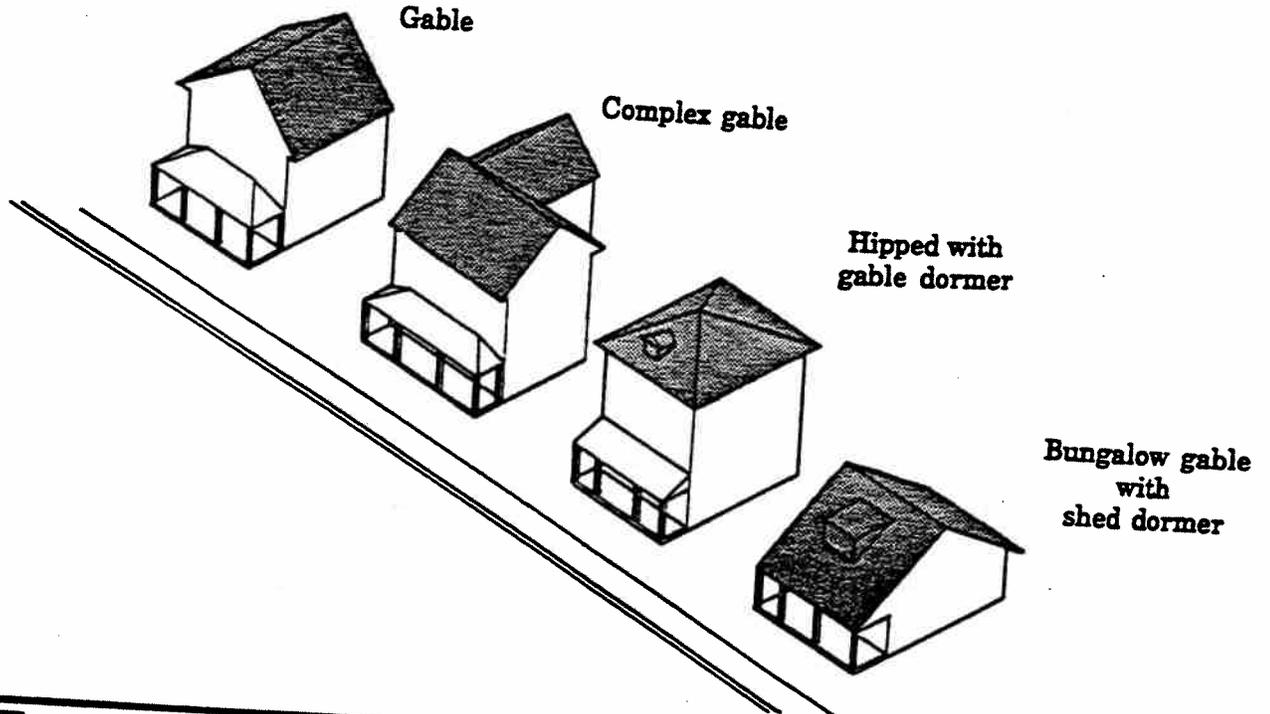
Also, the size and shape of dormers and overhangs are factors which help define the roof's appearance. The massing becomes more complex with the addition of secondary roofs over porches, stoops, dormers, bay windows, or building projections.

Porches are a typical massing element and help unify the various architectural styles of each block as shown in this bird's-eye view.



New structures and additions should be consistent with existing structures in the design of the main roof (pitch, hips, and overhangs) as well as the design of roofs enclosing the building projections. Roof material and ridge details should be compatible with nearby roof materials and details.

Roofs are another typical massing element. This bird's-eye view also identifies several different roof forms.



SCALE

In Maywood, the relatively uniform scale of houses is one of the most important elements that contributes to the overall character of the neighborhood. What is scale? Scale is the relative proportion and size of a building to a pedestrian observer, of a building to neighboring buildings, and of a building to its surroundings in general.

Scale is the relationship of buildings to each other and to human size.



The sense of scale in a neighborhood is also established in part by the size of spaces around an individual house as well as the size relationships between all the houses on a particular block. When scales of spaces and houses are similar, a consistent rhythm is established along a typical neighborhood street and should be respected by new construction, to the extent possible under zoning requirements.

Scale is also the relationship of the building to its site. In this block most of the houses are sited to use most of their narrow lots. The scale of a similar sized house changes when it is placed in a larger lot.



In Maywood, several vertical dimensions of houses al help establish a consistency of scale along a street:

NUMBER OF STORIES

Within Maywood, the majority of houses consist of tw story structures with an attic, although some blocks have significant variations. New houses in Maywood should be compatible with their neighbors in terms of number of stories.

Height of first floor above grade.



HEIGHT OF FIRST FLOOR ABOVE GRADE

Most houses in Maywood have crawl spaces or raised basements, with the first floor several feet above grade. New houses or additions should repeat this characteristic and clad the crawl space or basement with material compatible with those of their neighbors.

FLOOR-TO-FLOOR HEIGHTS

The height of each floor above the ground or above the floor below also affects the scale of buildings and will often be evident through the size of windows and doors. Floor-to-floor heights in additions or new construction should be compatible with floor heights in neighboring houses as well as be consistent with the existing house.

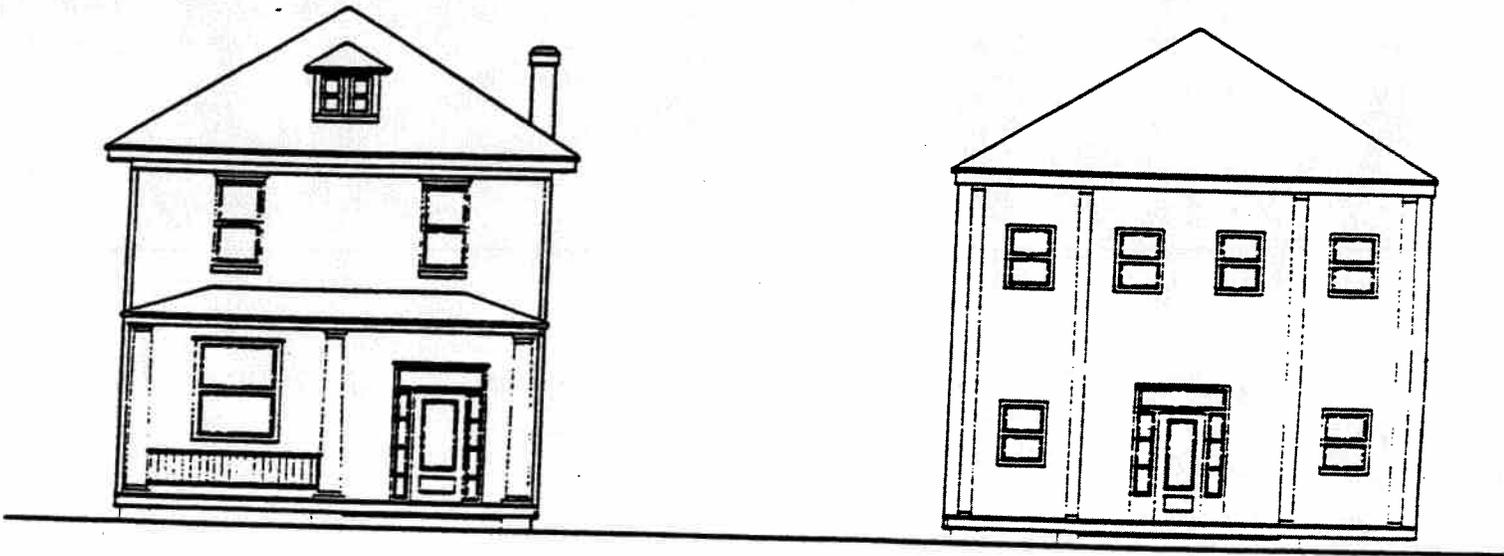
Floor-to-floor heights



PORCH HEIGHTS

Porches play an important role in establishing the scale of individual houses, as well as neighborhood streets. The presence of a one-story porch on the facade of a two-story house helps reduce the overall scale of the structure and relate the scale to the human figure. New construction in Maywood should be compatible with these scale-making elements of the existing neighborhood.

One-story porches help reduce the scale of a two-story house and relate it better to the size of a human figure. Two-story porticoes, as shown on the right, establish a larger scale that is not consistent with the neighborhood.



OPENINGS

Although a wide variety of window and door types are found in Maywood's architecture, the majority of openings within an individual house are usually similar in design. Openings in new houses should relate to existing neighboring buildings, and additions should relate to the building to which it is attached, in the following ways:

RELATIONSHIP OF SOLIDS TO VOIDS

The overall amount of solid wall area is normally greater than the area of voids (window and door openings) in older homes. This ratio should generally be respected in planning new construction, particularly on primary facades that face the street.

New structures or additions also should be compatible with the spacing of the solid walls and the window and door openings of surrounding buildings.

Special rooms such as sun rooms or greenhouse rooms, that require a higher ratio of window to wall should be designed in a manner compatible with the neighborhood or by placing them on elevations that are not visible from the street.

Openings in new buildings should respect the proportion and rhythm of openings in existing buildings.

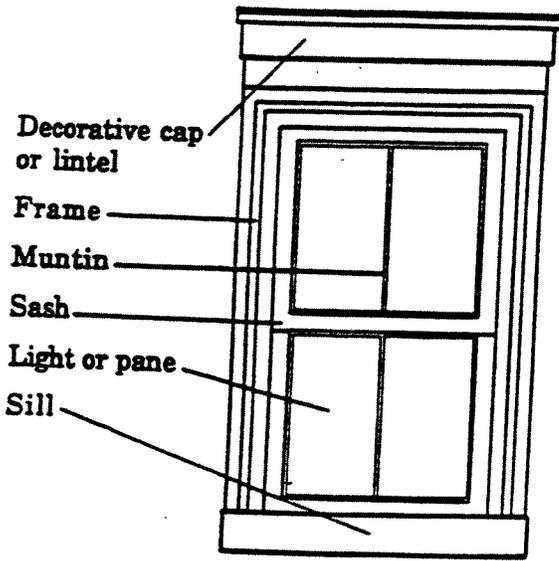


The window types, sizes, and patterns of the new house in the center of this drawing do not relate well to the neighboring homes.

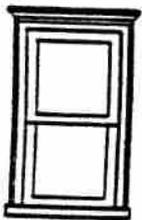
WINDOWS

The types and proportions of windows often vary with the architectural period and style of houses. The early twentieth century styles found in Maywood have many different examples of window designs. New construction should take clues from surrounding buildings. For example, most Maywood houses have a single type and size of window for major openings with smaller accent windows used in attics, stairs, and the like. Different window types generally should not be used in the same elevation.

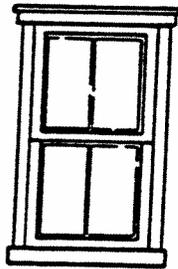
Roof dormer windows are generally more compatible with houses in Maywood than skylights. The design of dormers in a new construction project should relate to the dormer types of neighboring buildings and to the style of the new house. If skylights are used, they should be placed on a roof or elevation that is not visible from the street.



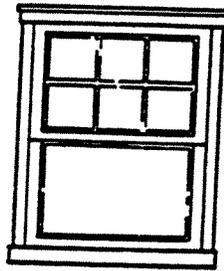
There is a variety of window types found throughout Maywood.



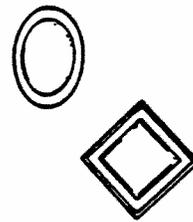
One-over-one



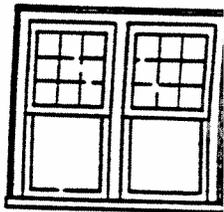
Two-over-two



Six-over-one

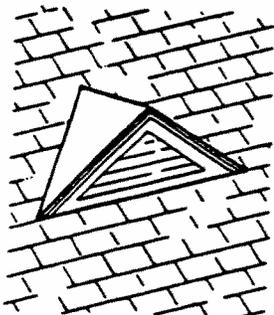


Accent



Paired nine over

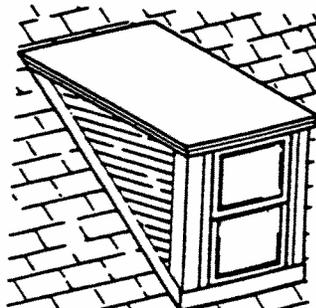
There are several types of dormers found on Maywood houses.



Eyebrow dormer



Gable-roofed dormer



Shed-roofed dormer



Hip-roofed dormer

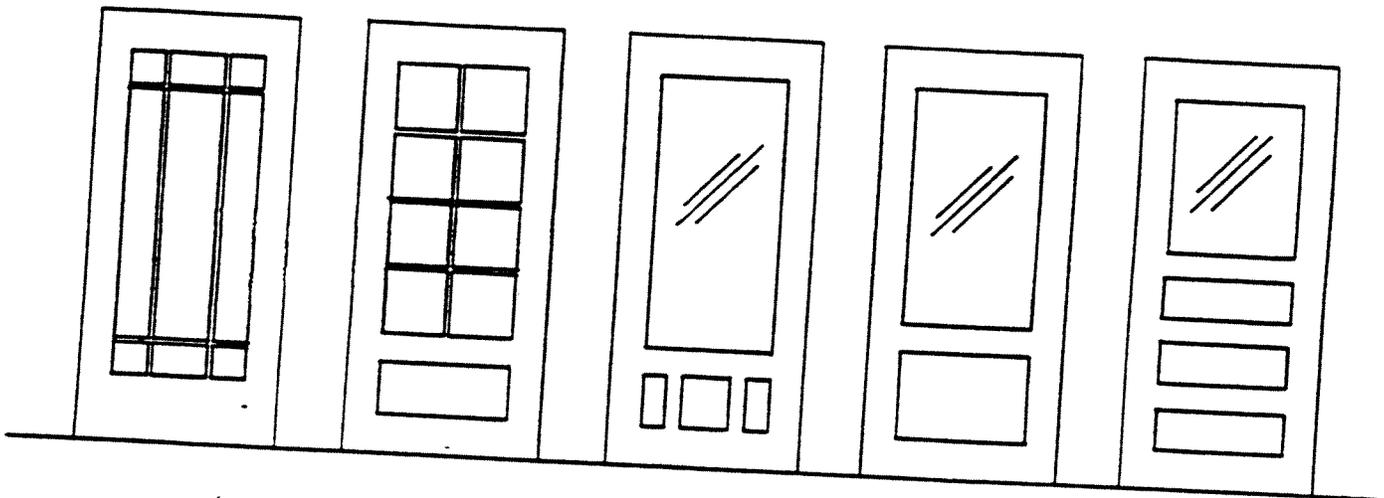
SHUTTERS

Shutters should be of a size appropriate to the window opening and architecturally consistent with the character of the house. Traditional painted wooden shutters with horizontal slats attached by hinges are most frequently used in Maywood. If shutters are to be used, they should fasten to the window casings.

DOORS

There is a variety of entrances and doors found in the architecture of Maywood. In general, the primary entrance of a house is highlighted by a special treatment that can include a transom, sidelights, or a more ornately designed door. Such treatments should be considered in the design of new construction and clues to this element can be found in neighboring houses.

There are many door types in Maywood that are made up of variations of wood panels and glass panes.



ARCHITECTURAL FEATURES

The materials, elements, and architectural details of a house are critical features in defining its overall appearance, as well as relating to its neighbors. Houses in Maywood display a rich variety of materials and distinguishing architectural features. Their use in the neighborhood should be analyzed and considered for incorporation in the design of any new construction project.

MATERIALS

Houses in Maywood are generally built with a single dominant facade material (wood siding, brick, stucco or

shingles) occasionally using small contrasting accents (such as brick porch piers or patterned shingles on upper floors). This approach should generally be followed in any additions or new construction.

The following materials are not appropriate to the traditional character of the Maywood Historic District:

Vertical siding;

Imitations of brick, stone or other materials;

Reflective glass or tinted glass (stained glass is acceptable);

Unpainted, brushed aluminum finishes.

ELEMENTS

Porches act as transitional elements of scale between the building and the sidewalk. Specific features to consider including in new construction are brick or stone piers, various types of wood railings, turned wood columns, bases and capitals, and traditional porch floor and ceiling materials.

Chimneys are often distinguishing elements on a house. They should be compatible with neighboring chimneys in height, size, materials, and design.

Gable ends provide a variety of distinctive features, such as diamond or fish scale shingles, three-part windows, arched windows, and different types of louvers, which should be considered in the design of new construction projects.

Bays are also distinguishing elements on a house and are found throughout Maywood. Bays could be considered in the design of new construction.

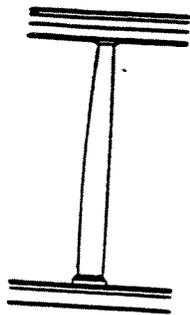
DETAILS

Projecting eaves, eave brackets, lintels and cornices are typical Maywood details and should be considered in the design of new construction.

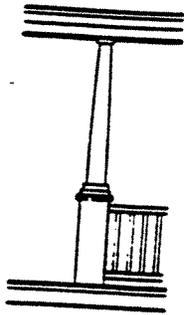
Awnings, if used, should be of a scale and type compatible with the neighborhood. Canvas awnings are usually appropriate; other materials may be used in some cases.

Steel pipe railings are inappropriate for porches or steps.

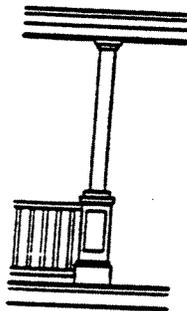
A variety of porch details exist in Maywood and may be appropriate for new construction.



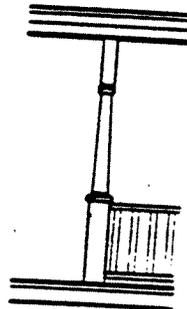
Full column



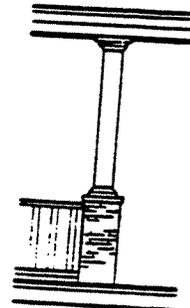
Column with pedestal base



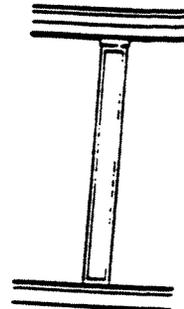
Column with paneled pedestal base



Turned column



Column with brick base



Full rectangular column

Accessories, although not actual architectural features, may affect the appearance of a house. While these elements such as exterior lights, house numbers and mail boxes, do not require design review, their selection should receive careful consideration. Designs, styles, and materials in keeping with the scale and style of the new structure are encouraged.

6. GUIDELINES FOR RENOVATION

As one of Arlington's oldest neighborhoods, Maywood consists of many homes fifty or more years old, as well as newer homes. There are few remaining vacant lots. Therefore, much of the design review in the neighborhood will be focused on renovation and rehabilitation of existing structures.

Preservation of homes in Maywood often begins with a good maintenance program. The lack of adequate care often creates problems that become progressively worse through time. Most normal maintenance items do not require a Certificate of Appropriateness nor do any interior modifications or renovations.

Also, the repair or replacement of exterior features using like materials of like design does not require design review. See Chapter 3 for a more complete list of items that do and do not require design review. The following list of building elements suggests recommended treatments for retaining design integrity and original character when renovating homes in Maywood.

There are several homes in Maywood that are of more recent construction and of a more contemporary design. It is not the intent of these guidelines to encourage owners of these post-historic-period properties to renovate them to look like earlier architectural styles. The design of any proposed changes should respect and relate to the present character of these newer houses.

ADDITIONS

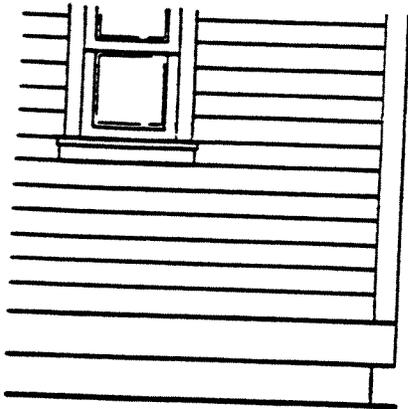
Any new construction, enlargement, addition, modification or alteration of the exterior of an existing building requires a Certificate of Appropriateness. Additions to existing houses should respect and maintain the integrity of the major elevations of the original house. In most cases the new addition should not be prominently visible from the street and should be located to the rear of the house, if possible. Additions are treated as new construction for the purposes of relating to the existing character of the original house and surrounding neighborhood and the Guidelines for New Construction and Additions in Chapter 5 should be consulted for guidance in their design.

MATERIALS

Maywood houses generally are built with a single dominant facade material such as wood siding, brick, stucco or shingles, occasionally using smaller contrasting accents such as brick porch piers or shingles on upper floors. Introduction of new materials should normally be avoided. If the original material is no longer available, a compatible material with a similar appearance should be used.

Changing, altering or using compatible substitute materials – including the installation of siding, shingles or masonry facing – requires a Certificate of Appropriateness as do the repointing of brick with different material, texture and/or design and exterior sandblasting.

Trim elements should be retained when covering or replacing existing siding.



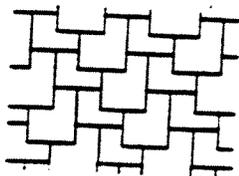
Repair or replacement of siding with different materials and/or a different design requires a Certificate of Appropriateness.

Replacement siding should not cover or result in the removal of window, door, and corner trim members, nor should siding of a different width replace the original siding. Please see the illustration on page 8.

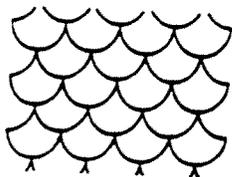
The following materials should not be used in the Maywood Historic District:

- Vertical siding;
- Imitations of brick and stone;
- Reflective glass or tinted glass (stained glass is acceptable);
- Unpainted, brushed aluminum finishes.

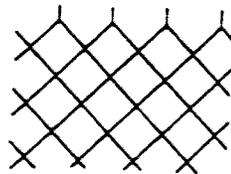
Typical shingle patterns found in gable ends of Maywood houses should be retained in any renovation work.



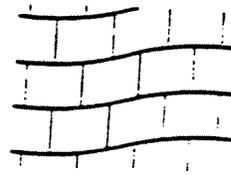
Staggered butt



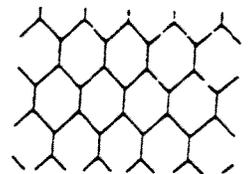
Fish scale



Diamond



Wavy



Hexagon

ROOF

Repair or replacement of roofs with different materials and/or a different design requires a Certificate of Appropriateness.

OPENINGS

Although a wide variety of window and door types is found in the Maywood Historic District, the size, number and spacing, the relationship of height to width, and the division into individual panes on any one house are usually consistent, and should be maintained in renovations.

In planning for the placement of windows and doors in modifications, home owners should consider the following elements:

DOORS

Original entry features such as sidelights, transoms, pediments, and canopies are important elements in defining the sense of entry and should be retained. If an entry door is relocated, or a second entry created, it should be carefully placed and designed to avoid losing the sense of entry. Repair or replacement of external doors with different materials and/or a different design requires a Certificate of Appropriateness.

WINDOWS

Most Maywood houses have a single type and size of window for major openings, with smaller windows used as accents in gables, attics, and staircases. Repair or replacement of windows with different materials, a different design and/or a different size, requires a Certificate of Appropriateness.

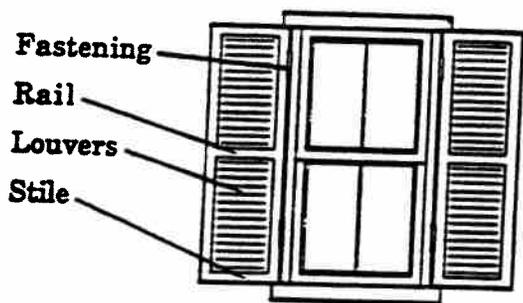
Compatible window types ordinarily should be used in the same elevation. For renovations a similar type and size window should be installed. Filler panels to accommodate smaller windows should not be used.

Special rooms such as sun rooms should be designed in a manner compatible with the neighborhood and placed on an elevation not visible from the street if possible.

The original window openings of this house have been altered as shown in the drawing on the right. These changes can have a major effect on changing the original character of the house.



Shutter parts.



SHUTTERS

Shutters should be an appropriate size to cover the window when closed. They should fasten to the window casing and should not be mounted to the wall next to the window. Traditional painted wooden shutters with horizontal slats are appropriate in most Maywood houses. Permanent removal of shutters is discouraged and requires design review.

WINDOW AIR CONDITIONER UNITS

Installation of a window air conditioner, if installed in a window, does not require design review because it is a temporary change to the structure. Installation of a window air conditioner through the building wall does require a Certificate of Appropriateness. Units should be installed through a side or rear wall of the structure if possible.

STORM WINDOWS AND DOORS

A Certificate of Appropriateness is not required for the installation of storm windows. However, the use of designs, materials, and styles compatible with the house and original windows and doors is encouraged.

DORMERS AND SKYLIGHTS

Dormer windows are a traditional and often visible architectural element in Maywood. Because of their importance in helping to define the character of the neighborhood, their original design should be maintained. Dormers are generally more compatible with Maywood houses than skylights. If skylights are used, they should be placed on the rear of the house if possible, so as to be less intrusive to the character of the neighborhood. The addition of dormers or skylights requires a Certificate of Appropriateness.

DISTINGUISHING ARCHITECTURAL FEATURES

Maywood houses display a rich variety of distinguishing architectural features that give houses their unique character and contribute to the visual interest in the district. These architectural features should be preserved.

PORCHES

Porches provide an important element of uniformity that ties together the architectural diversity of the neighborhood. Moreover, porches act as transitional elements of scale between the building and the sidewalk. Broad porches are characteristic of the majority of Maywood's homes and should be retained.

Removal, replacement, or enclosure of porches requires a Certificate of Appropriateness. Enclosure of front porches is not appropriate in Maywood houses. The design and materials selected for porch railings should be appropriate to the style of the house. Specific features that should be retained include brick or stone piers, various types of wood railings, turned wood columns, bases and capitals, and traditional porch floor and ceiling materials.

CHIMNEYS

Chimneys are often distinguishing features and should be retained on Maywood houses.

GABLE ENDS

Gable ends provide a variety of distinctive features, such as diamond or fish scale shingles, three-part windows, arched windows, and different types of louvers, which should be preserved.

PAINING

Exterior painting of, and paint colors on, surfaces previously painted including wood, brick or stucco do not require design review. Painting on previously unpainted brick or the removal of paint on masonry does require a Certificate of Appropriateness.

ARCHITECTURAL DETAILS

The architectural detailing of any particular house is critical in establishing visual character, as well as compatibility with its neighbors. Renovations or restorations should be thoughtfully planned to preserve these elements.

TRIM

Repair or replacement of trim with different materials and/or a different design requires a Certificate of Appropriateness. Vertical corner boards, sill boards, and door and window trim are critical elements and should be retained when making alterations, replacing siding, and the like. Projecting eaves, eave brackets, lintels and cornices are typical Maywood details and should be retained. Applied trim or moldings not compatible with the original design are discouraged.

Removing the original cornice, window, and porch trim changes the character of this house.



The placement or replacement of gutters does not require a Certificate of Appropriateness but care needs to be taken when replacements or repairs are sought. These items should be incorporated unobtrusively in a style and color complementary to the house and neighborhood.

ACCESSORIES

Some accessories, although not actual architectural features, may affect the appearance of your home. These elements, including exterior lights, house numbers and mail boxes, do not require a Certificate of Appropriateness, but should receive careful consideration when replacements are chosen. Designs, styles and materials in keeping with the scale and style of the original house are encouraged.

AWNINGS

The addition of awnings or the repair or replacement of awnings with different materials and/or a different design requires a Certificate of Appropriateness.

7. UTILITY EQUIPMENT

The addition of new, permanent mechanical equipment and service structures should be placed on the property where they have the least visual impact on the neighborhood.

ELECTRICAL AND TELEPHONE CONNECTIONS

Electrical and telephone connections from overhead service lines should be made at the side or rear of the house if at all possible. Exterior conduit should be avoided. If this is not possible, conduit should be placed along eaves, corner boards or trim members to be as inconspicuous as possible.

AIR CONDITIONER UNITS AND HEAT PUMPS

The placement of new air conditioning condenser units and heat pumps are subject to design review. These should be located on the side or rear of the property, to the extent possible under existing zoning. Landscaping may be used to screen these units.

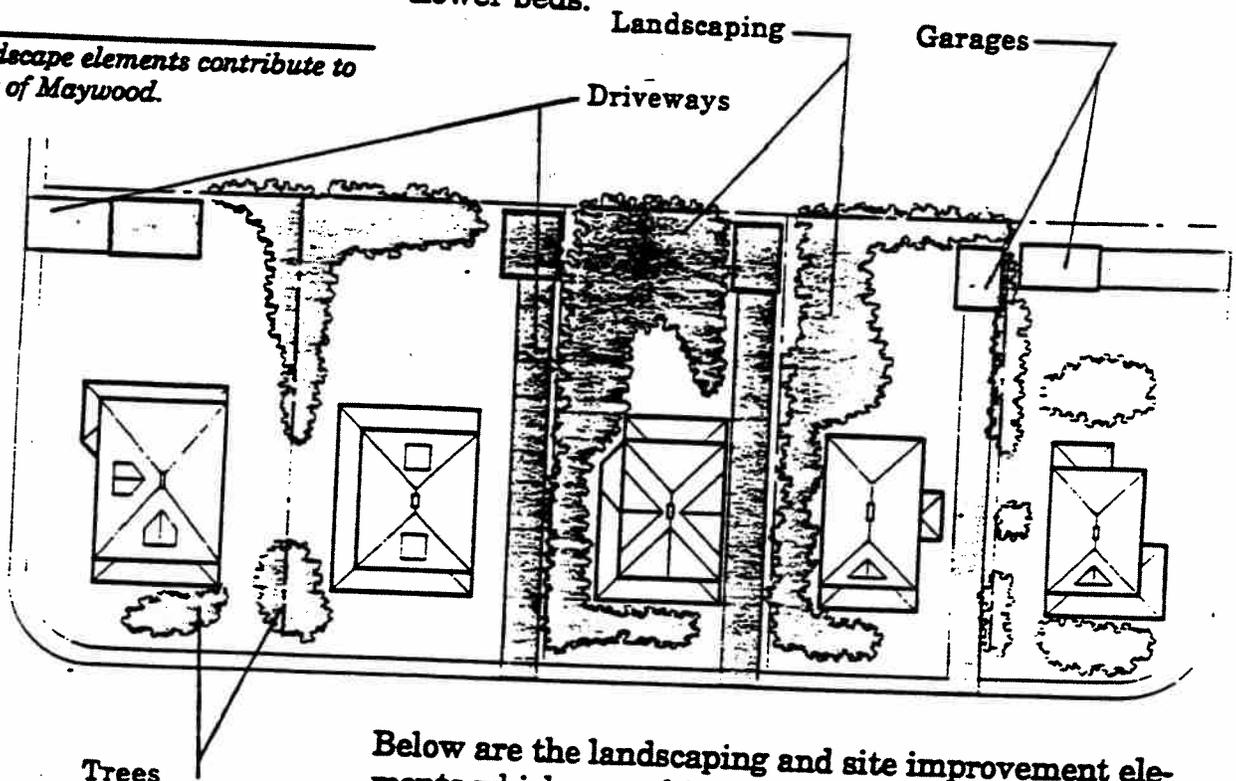
SOLAR COLLECTORS AND SATELLITE DISHES

The placement of new solar collectors and satellite dishes is subject to design review. The goal for installation of these more recent developments in house design is to place them as unobtrusively as possible in locations not visible from the street, if possible.

8. LANDSCAPING AND SITE ELEMENTS

Landscaping and other site elements contribute to the setting and character of the individual properties in the neighborhood. Collectively they have a major impact on the overall appearance of the historic district. The following elements are not subject to design review: temporary yard or garden fixtures, such as children's play equipment, planters and birdbaths; and plant materials such as flowers and shrubs, or the location of flower beds.

Site and landscape elements contribute to the character of Maywood.



Below are the landscaping and site improvement elements which are subject to design review and which require a Certificate of Appropriateness:

OUTBUILDINGS AND OTHER STRUCTURES

Permanent outbuildings are subject to the design review process and include garages, storage sheds, decks and gazebos, above- and in-ground swimming pools, ponds and fountains, and exterior mechanical equipment.

LARGE TREES

Large trees measuring at least 15" in diameter at 4' height should be retained. Ordinary maintenance of mature trees does not require design review; however, removing a large tree can greatly change the neighbor-

scape in Maywood and will require a Certificate of Appropriateness. See page 6 for emergency tree removal procedures.

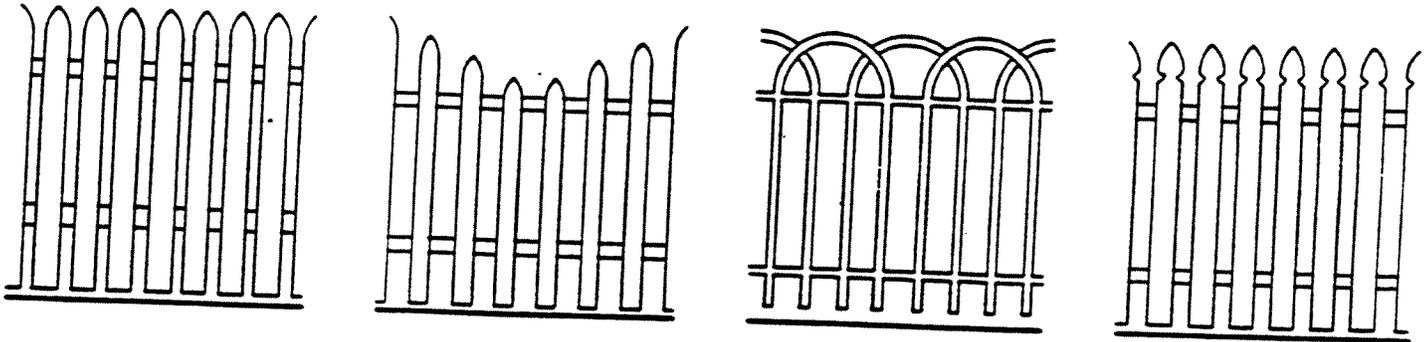
RETAINING WALLS

The installation or removal of a retaining wall or repair of a retaining wall with a different material, style, design or texture will require design review. Concrete, brick, masonry, stone and wood are appropriate materials for a retaining wall. The finish surface should be compatible with surrounding buildings.

FENCES

Any changes to fencing which are not part of ordinary maintenance, including the placement of a new fence or removal of an existing fence, will require design review. Where necessary to fence a property facing a public street, wood picket or metal ornamental fences are appropriate. Wood, metal or wire fences are appropriate for fencing rear yards not facing on a public street. Wood fences may be painted, stained, or unfinished.

Typical fences of Maywood.



AUTOMOBILE PARKING AREA

Ordinary maintenance of existing driveways does not require design review. Driveways may be added to existing properties or to lots with new construction. This action requires a Certificate of Appropriateness. The use of front yards for parking or storing vehicles detracts from the appearance and character of the neighborhood and is discouraged.

PAVING MATERIALS

Gravel, asphalt, concrete, brick and paving blocks are all appropriate for walks, patios, drives and driveways. The finish surface should be compatible with surrounding paving materials. Except for replacement in kind, the choice of paving materials will require a Certificate of Appropriateness.

EXTERIOR LIGHTING FIXTURES

Exterior lighting fixtures do not require a Certificate of Appropriateness; however, lighting fixtures may be an important feature of the exterior of your home. Careful choices in keeping with the architectural character of the building are encouraged.

9. STREETSCAPE AND PUBLIC SPACES

Public improvements and alterations within the Maywood Historic District will undergo design review. All public improvements should be designed in a manner which enhances and reinforces the architectural character of the district and should be consistent with the Neighborhood Conservation Plan. Ordinary maintenance and replacement with like materials of like design and emergency repairs are not covered by the design review process.

- STREET PAVING** Asphalt and concrete.
- CURBS AND GUTTERS** Concrete.
- SIDEWALKS** Concrete and/or brick pavers.
- SIGNS** Street, directional, and information signs should be painted metal or wood.
- STREET LIGHTING** For replacement of existing street lights, use of low level blue mercury vapor illumination on existing wood or concrete poles is preferred. For installation of new street lights in new locations, efforts should be made to maintain consistency with current neighborhood lighting standards to the greatest extent possible.
- UTILITY EQUIPMENT AND STREET FURNITURE** Designs should be selected on the basis of reinforcing the historic district character.
- FENCES** Design and material should be compatible with the surrounding area.
- PARKS, OPEN SPACE AND STREETSCAPE** Sidewalk and street improvements should be designed to retain existing mature trees. A tree replacement program is encouraged in all public spaces. Maintain grounds, facilities, and equipment at a level that preserves the historic character of the area. Review future development to provide facilities in keeping with the character of the site and the neighborhood.