



ARLINGTON COUNTY, VIRGINIA

County Board Agenda Item Meeting of October 23, 2010

DATE: October 12, 2010

SUBJECT: ON THE COUNTY BOARD'S OWN MOTION, to add a new condition granting the Zoning Administrator the authority to modify the timing required for compliance with certain conditions, and to modify the condition requirements for the excavation plat and wall check survey, for Site Plans #13 (Crystal Houses Lofts, RPC #35-011-007 and -008, and 36-018-014), 105 (Metropolitan Park 2, RPC #35-003-006), 297 (Pentagon Center Phase One, RPC #35-004-001), 331 (Arlington Gateway/Fairmont, RPC #14-051-019), 335 (Rosslyn Central Place, RPC #16-038-001, -002, -003, -004, -014, -015 and -016), 346 (Potomac Yard Bay C, RPC #34-027-071 and -072; Bay D-East, RPC #34-027-062; and Bay D-West and Center Park, RPC #34-027-052 and -065), 382 (National Science Teachers Association, RPC #17-011-019, -021 and -023), 384 (The Views at Clarendon, RPC #15-070-003, -004, and 15-070-PEA), 386 (Club on Quincy, RPC #14-030-057 and -058), 387 (Alexan 24, RPC #32-024-003), 389 (2000 Wilson Boulevard, RPC #17-011-009, -013, -015 and -016), 392 (The Waverly, RPC #15-078-017), 395 (Dominion Heights, RPC #05-056-002), 396 (Fire Station 3, RPC #06-011-045; and Koons Garage, RPC #06-011-046), 397 (Clarendon Center, RPC #18-012-003 and -004, and 18-013-010 and -011), 400 (Monument/Ball Street, RPC #34-025-001, -003, -004 and -005, and part 34-024-345), 401 (Peck/Jordan Manor, RPC #14-053-058, -060, -061 and -062, 14-054-001 and -002), 402 (Penrose Square, RPC #25-016-012 and -013), 403 (2009 14th Street, RPC #17-014-001), 405 (Buckingham Village 1, RPC #20-024-240, -241, -242, -243, -245, -246, and 20-024-PCA), 406 (2201 Pershing Drive, RPC #18-038-019, -020 and -023), 408 (Mary Marshall Assisted Living Residence, RPC #24-032-036), 409 (1716 Wilson Boulevard, RPC #17-010-008, -009, -022, -023 and -030), 411 (1900 Wilson, RPC #17-011-006, -007, -008, -017, -018 and -019, and portions of -009), 412 (Rosslyn Commons, RPC #17-005-002, -003, -004, -005, -006, -007, -008, -009, 010 and -011) and 413 (Founders Square, RPC #14-060-036, -068, -069, -070, -074, -077), and Use Permits U-1671-65-3 (Marymount University, RPC #03-065-001), U-3155-06-1 (4520 N. Glebe Road URD, RPC #03-004-024, -025, -026, -027 and -028), U-3228-09-1 (Buchanan Gardens, RPC #23-006-161 and -002), U-3242-09-1 (Buckingham Village 3, RPC #20-023-003 and -004), U-3148-05-1 (2525 Lee Highway UCMUD, RPC #15-007-006) and U-3173-07-1 (2201 Pershing Drive URD, RPC #18-038-002).

County Manager:

BMD/GA

County Attorney:

[Handwritten signatures]

Staff: Freida Wray, Planning Division, DCPHD
Norma Cozart, Zoning Office, DCPHD

5.

PLA-5700

C.M. RECOMMENDATION:

Approve the proposal to amend several site plans and use permits to add a new condition granting the Zoning Administrator the authority to modify the timing required for compliance with certain conditions, and to modify the condition requirements for the excavation plat and wall check survey, for Site Plans #13 (Crystal Houses Lofts), 297 (Pentagon Center Phase One), 331 (Arlington Gateway/Fairmont), 335 (Rosslyn Central Place), 346 (Potomac Yard Bay C, Bay D-East, and Bay D-West and Center Park), 382 (National Science Teachers Association), 384 (The Views at Clarendon), 386 (Club on Quincy), 387 (Alexan 24), 389 (2000 Wilson Boulevard), 392 (The Waverly), 395 (Dominion Heights), 396 (Fire Station 3, and Koons Garage), 397 (Clarendon Center), 400 (Monument/Ball Street), 401 (Peck/Jordan Manor), 402 (Penrose Square), 403 (2009 14th Street), 405 (Buckingham Village 1), 406 (2201 Pershing Drive), 408 (Mary Marshall Assisted Living Residence), 409 (1716 Wilson Boulevard), 411 (1900 Wilson), 412 (Rosslyn Commons) and 413 (Founders Square), and Use Permits U-1671-65-3 (Marymount University), U-3155-06-1 (4520 N. Glebe Road URD), U-3228-09-1 (Buchanan Gardens), U-3242-09-1 (Buckingham Village 3), U-3148-05-1 (2525 Lee Highway UCMUD) and U-3173-07-1 (2201 Pershing Drive URD).

ISSUES: This is a proposal to amend several site plans and use permits to add a new condition that would grant the Zoning Administrator the authority to modify the timing required for compliance with certain conditions without changing the original intent of the conditions, and to modify the conditions for the excavation plat and wall check survey to bring them up to date with current requirements. There are no known issues at this time.

SUMMARY: In recent years the County Board has approved minor amendments to a number of site plans, and staff and applicants have used new form conditions for some situations, to address challenges developers face in the field in complying with the timing requirements of certain conditions. These particular conditions have been especially problematic, and recently-approved site plans have used language that addresses the problem. This proposal is an attempt, for site plans approved with the old language that have not been fully constructed, to resolve the issues surrounding the projects meeting condition requirements, particularly for occupancy during periods of adverse weather or other unexpected circumstances in the field. New condition language would give the Zoning Administrator the flexibility to adjust timing requirements, while not changing the original intent of the condition. The proposed amended condition would apply to: the installation of hardscape features, plant materials and street trees shown on the approved landscape plan; construction of pavement, curb and gutter along all frontages of the site; and replacement of existing curb, gutter and sidewalk in poor condition or damaged by construction. Staff is currently updating the standard site plan conditions to accomplish several goals: to incorporate changes that would provide flexibility similar to what is described above; to reformat them for incorporation into Permits Plus or a similar computer-based construction monitoring and enforcement system; and to make them more user-friendly to staff, the development community, and the general public. Furthermore, this proposal would modify the condition requirements for the plat of excavated area and the wall check survey to bring them up to date with the current standard requirements. Flexibility and changes have been provided to

some, but not all, of the conditions in recently approved site plans. The intent of this proposal is to make these conditions current in all active site plans and use permits.

BACKGROUND: This proposal responds to the challenge that many developers face in complying with the requirements of certain conditions. As a result, there have been a number of site plan amendment requests to the County Board to adjust the timing of condition compliance, which have, in most cases, been approved. In certain conditions, the requirements do not provide the administrative flexibility to permit adjustments to resolve problems in timing that regularly arise for developers. For example, inclement weather, or seasonal conditions, could prohibit the developer from complying with the timing of installation of landscape and hardscape materials and preclude the developer's contractor from continuing with construction jobs. Staff proposes to modify two (2) standard conditions and add one (1) new condition to approved site plans currently under construction and those site plans approved, but not under construction. The change would grant the Zoning Administrator, after making certain findings, the authority to administratively review and approve modifications to the compliance and timing requirements of certain conditions so that construction will not be hindered and the project can expediently continue as originally approved by the County Board.

DISCUSSION: The condition requirements that have consistently been the subject of a number of site plan amendment requests due to timing issues are described below.

- 1) Installation of hardscape features shown on the approved (post-approval) landscape plan. The condition requires that hardscape features, such as plazas and courtyards, raised planters, driveways and access drives, parking areas, interior walkways and roadways, driveway aprons and service drives, etc., be installed prior to either the issuance of the First Partial Certificate of Occupancy (for site plans approved prior to April 2009) or the Shell and Core Certificate of Occupancy (for site plan approved after April 2009). Depending on the season, weather, or other construction-related issues, this requirement sometimes means a developer must wait to install these features, and then all construction is stopped because permits cannot be issued. Staff recommends that the Zoning Administrator be permitted to issue permits in some cases, even where these features are not necessarily completed.
- 2) Installation of plant materials shown on the approved (post-approval) landscape plan. The condition in site plans approved prior to February 2008 required that all plant materials, including both interior and exterior plantings, be installed prior to the issuance of the First Partial Certificate of Occupancy. Depending on the season, weather may not permit installation of these features by the required timing. Beginning with SP #401 (Peck/Staples site), flexibility was written into the condition to give the Zoning Administrator the authority to administratively modify the timing requirement based on the planting season and the availability of planting materials. Staff is recommending that this condition be amended for site plans that were approved before the change was made.
- 3) Planting of all street trees shown on the approved (post-approval) landscape plan. The condition in site plans approved prior to February 2008 required that all street trees be planted prior to the issuance of the First Partial Certificate of Occupancy (for tenant

occupancy of the above-grade structure). Depending on the season, weather may not permit installation of these features by the required timing. Beginning with SP #401 (Peck/Staples site), flexibility was written into the condition to give the Zoning Administrator the authority to administratively modify the timing requirement based on the planting season and the availability of street trees. Staff is recommending that this condition be amended for site plans that were approved before the change was made.

- 4) Construction of pavement, curb and gutter along all frontages of this site. The condition requires that all pavement, curb and gutter (including curb, gutter, sidewalks, crosswalks, and streets for pedestrian and/or vehicular access or circulation) along all frontages of the site be constructed prior to the issuance of the first Certificate of Occupancy (Shell and Core). Depending on the season, weather, or other construction-related issues, may not permit the developer to complete construction of these features by the required timing.
- 5) Replacement of existing curb, gutter and sidewalk. The condition requires that the developer replace all existing curb, gutter and sidewalk along the street frontages of the site which is in poor condition or which has been damaged by the developer prior to the issuance of the first Certificate of Occupancy (Shell and Core). Depending on the season, weather, or other construction-related issues, may not permit the developer to complete construction of these features by the required timing.

Staff recommends that a new condition be added to the site plans and use permits listed below to give the Zoning Administrator the necessary flexibility and authority to modify the timing of only the conditions identified above and set forth in the tables on page 6. Flexibility has been added to some, but not all, of the conditions in the recently approved site plans. The intent of this proposal is to provide the proposed timing flexibility to all active site plans and use permits while not changing the original intent of the condition requirements. The proposed condition would read as follows:

The Zoning Administrator may, through the administrative change process, allow modifications to the timing of conditions where the Zoning Administrator finds that 1) the Developer is diligently pursuing the work; 2) the timing of conditions will unnecessarily impede progress of the project; and 3) the Developer provided reasonable assurances that the work will be completed in accordance with the Site Plan's or Use Permit's approved design.

The conditions requiring submission of a plat of the excavated area and a wall check survey have consistently been the subject of a number of site plan amendment requests because, depending on the size or phase of the development, the restrictive language in the conditions could cause construction to be halted for a period of time while the condition requirements are being met. Over time, staff has worked to develop alternative language that avoids a total halt to construction work but ensures that the construction is done consistent with the site plan requirements. Giving the Zoning Administrator the administrative authority to adjust the requirements would allow the developers to continue construction while staff monitors condition compliance.

- 1) Plat of excavated area. The standard condition in site plans approved prior to July 2008 required that the developer submit one (1) plat of the total excavated area prior to the issuance of the Footing to Grade Permit. Beginning with SP #413 (Founders Square – approved July 2008), the standard condition was revised to require a plat for a minimum of 50 percent of the total excavated area and to give the Zoning Administrator the authority to administratively modify the size of the excavated area for which plats are required if the excavation site is greater than 20,000 square feet. This less restrictive language allows the developer to proceed with construction as they continue to excavate the rest of the site, while ensuring that enough information is provided so that the building will be as proposed, and staff reviews the plat to be sure the excavation is done correctly. Staff proposes that the current requirement be applied to all site plans approved prior to July 2008, but which have not yet been constructed, to bring them up to date. The current standard condition reads as follows:

The developer agrees to submit one (1) plat, drawn at the scale of 1 inch = 25 feet and 24 inches x 36 inches in size, of the excavated area showing spot elevations which confirm that the construction drawings are consistent with the average site elevation, and with the building's ground floor elevation(s) at the building's lowest level(s), as approved by the County Board and as indicated in the plans referenced in Conditions #1 and #10 above. Spot elevations shall be taken at spots determined at the time of the pre-construction meeting and shall at a minimum consist of two corners and spot elevations from 50 % of the total area to be excavated. The elevations shall be provided prior to the issuance of the footing to grade permit. Provided however, that when the Zoning Administrator determines that the excavated area will be greater than 20,000 square feet, the Zoning Administrator may reduce the area for which elevations must be provided before issuance of a footing to grade permit. Additional elevations confirming the elevations of the remainder of the excavation shall be provided prior to issuance of any permit for above grade construction.

- 2) Wall check survey. The standard condition in site plans approved prior to April 2009 required that the developer submit only one (1) wall check survey of the walls at-grade before issuance of the Final Building Permit. On occasion, developers had to stop construction to await their permit during review of the wall check survey. Beginning with SP #403 (2009 14th Street North – approved April 2009), the standard condition was revised to permit the initial wall check survey to be based on the top of the below-grade parking level, and to require further information on a follow-up survey to confirm the location of building walls constructed at grade. Staff proposes that the current requirement be applied to all site plans approved prior to April 2009, but which have not yet been constructed, to bring them up to date. The current standard condition reads as follows:

The developer agrees to submit one (1) original and three (3) copies of a wall check survey to confirm its consistency with the plans approved by the County Board, as referenced in Conditions #1 and #10 above. The wall check survey shall show the location of the walls at the top level of the below-grade structure, and will be

provided prior to the issuance of a permit for above-grade construction. The developer further agrees that, within thirty (30) days after approval of the wall check survey, or such other time as mutually agreed upon by the Zoning Administrator and the developer, to submit to the Zoning Administrator a wall check survey showing the location of the walls and the elevation of the slab, at grade.

The tables below identify the affected site plans by their construction status, and the conditions and corresponding condition numbers that would be addressed by the new condition.

Site Plans and Use Permits Under Construction

#-Site Plan Name	Installation of hardscape features	Installation of plant materials	Planting of all street trees	Construction of pavement, curb & gutter	Replacement of existing curb, gutter & sidewalk	Plat of excavated area	Wall Check Survey
105-Metropolitan Park 2	13	13	13	17	26	33	42
384-Views at Clarendon	13	13	13	17	26	33	42
387-Alexan 24	13	13	13	17	26	34	43
396-Fire Stat. 3/Koons Garage	13	13	13	17	26	33	42
397-Clarendon Center	13	13	13	17	26	33	42
401-Peck/Staples/Jordan Manor	13	13	16b	19	29	36	45
402-Penrose Square	15	15	16b	19	29	36	45
405-Buckingham Village	15	15	16b	19	29	36	45
408-Arlington Ass't Liv. Res.	14	14	15b	18	28	35	38
413-Founders Square	15	15	16b	19	25	32	41
U-1671-65-3 Marymount Univ.	11	11	12	15	25	32	41
U-3242-09-1 Buckingham Vill. 3	8	8	9b	12	18	-	-

Note: The numbers represent the corresponding condition numbers for each site plan.

Site Plans and Use Permits Not Under Construction

#-Site Plan Name	Installation of hardscape features	Installation of plant materials	Planting of all street trees	Construction of pavement, curb & gutter	Replacement of existing curb, gutter & sidewalk	Plat of excavated area	Wall Check Survey
13-Crystal Houses Lofts	15	15	16b	19	29	36	45
297-Pentagon Center	15	15	16b	19	25	32	41
331-Arlington Gateway Fairmont	13	13	13	17	26	33	42
335-Rosslyn Central Place	15	15	16b	19	29	36	45
346-Potmac Yard Bay C	15	15	15	19	29	36	45
346-Potomac Yard Bay D-East	15	15	15	19	29	36	45
346-Potomac Yard Bay D-West	15	15	15	19	29	36	45
382-NSTA	13	13	13	17	26	33	42
386-Club on Quincy	15	15	16b	19	29	36	45
389-2000 Wilson Boulevard	15	15	16b	19	29	36	45
392-1200 N. Irving Street	13	13	13	17	26	33	42
395-Dominion Heights	13	13	14b	17	26	33	42
400-Monument View	15	15	16b	19	28	35	44
403-2009 14 th Street	15	15	16b	19	25	32	41
406-2201 Pershing Drive	15	15	16b	19	29	36	45
409-1716 Wilson Boulevard	15	15	16b	19	29	36	45
411-1900 Wilson Boulevard	15	15	16b	19	25	32	41
412-Rosslyn Commons	15	15	16b	19	25	32	41
U-3155-06-1 4250 N. Glebe URD	8	8	9	12	-	-	-
U-3228-09-1 Buchanan Gardens	10	10	11b	14	20	-	-
U-3148-05-1 2525 Lee Hwy UCMUD	7	7	8	10	-	-	-

Note: The numbers represent the corresponding condition numbers for each site plan.

COMMUNITY PROCESS: The concept for a new flexible condition, as well as modifications to the conditions on Plat of Excavated Area and Wall Check Survey, were presented to the Arlington Committee of the Northern Virginia Builders Association (NVBIA) and the National Association of Industrial and Office Properties (NAIOP) on July 14 and September 8, 2010. The proposed new and modified conditions were supported by the Committee.

CONCLUSION: The proposed new and modified conditions that would be applied to the site plans and use permits identified above would provide needed flexibility to administratively adjust the timing requirements of certain problematic conditions without changing the original intent of the conditions or impeding construction progress, and bring the requirements for the excavation plat and wall check survey up to current standards. The proposed new and modified conditions maintain the spirit and intent of the approved site plan. Therefore, staff recommends that the County Board approve this proposal to amend the site plans and use permits identified above, subject to all previously approved conditions, and the following new and modified conditions:

New Condition

The Zoning Administrator may, through the administrative change process, allow modifications to the timing of conditions where the Zoning Administrator finds that 1) the Developer is diligently pursuing the work; 2) the timing of conditions will unnecessarily impede progress of the project; and 3) the Developer provided reasonable assurances that the work will be completed in accordance with the Site Plan's or Use Permit's approved design.

Modified Conditions

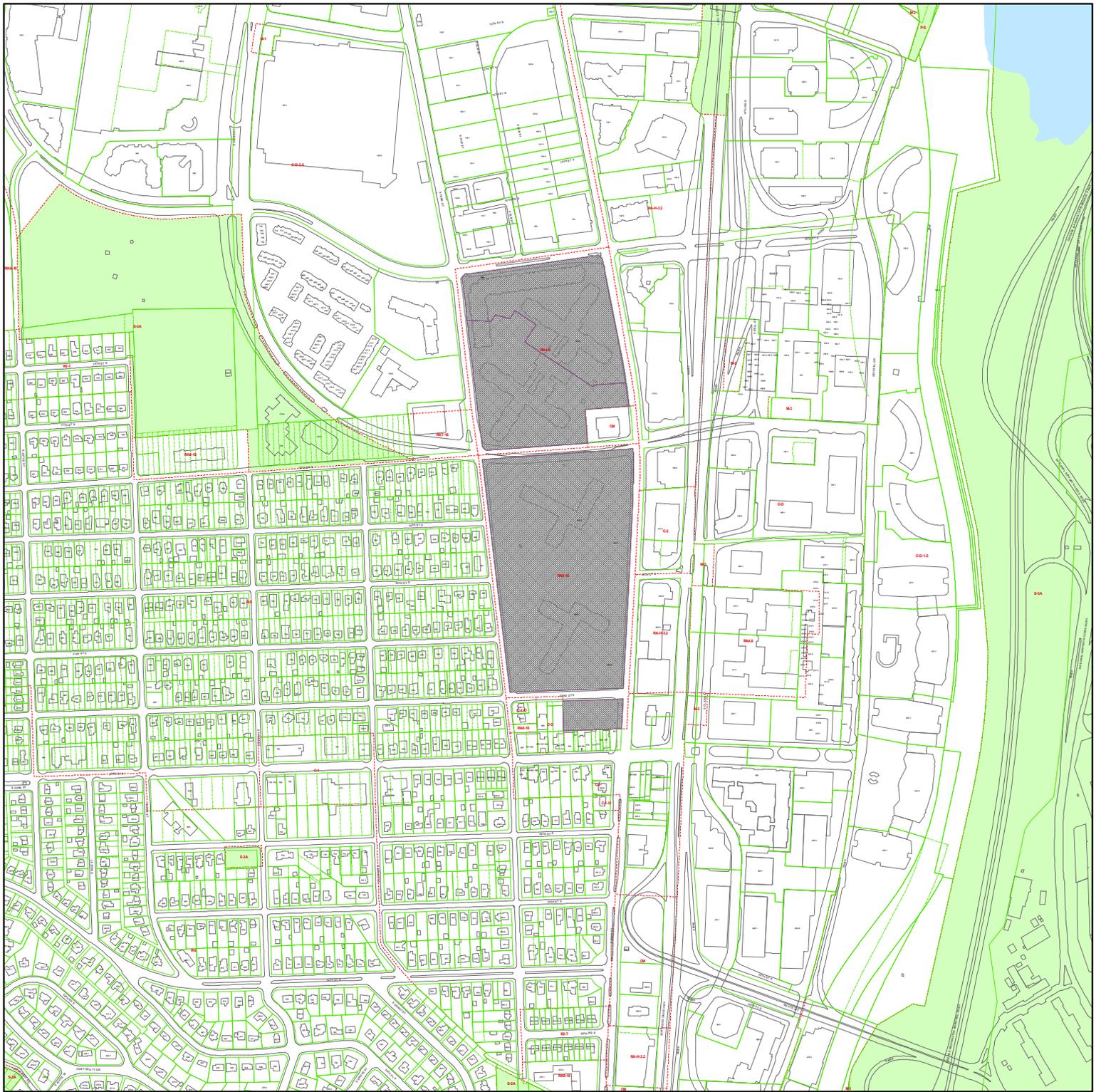
Plat of Excavated Area

The developer agrees to submit one (1) plat, drawn at the scale of 1 inch = 25 feet and 24 inches x 36 inches in size, of the excavated area showing spot elevations which confirm that the construction drawings are consistent with the average site elevation, and with the building's ground floor elevation(s) at the building's lowest level(s), as approved by the County Board and as indicated in the plans referenced in Conditions #1 and #10 above. Spot elevations shall be taken at spots determined at the time of the pre-construction meeting and shall at a minimum consist of two corners and spot elevations from 50 % of the total area to be excavated. The elevations shall be provided prior to the issuance of the footing to grade permit. Provided however, that when the Zoning Administrator determines that the excavated area will be greater than 20,000 square feet, the Zoning Administrator may reduce the area for which elevations must be provided before issuance of a footing to grade permit. Additional elevations confirming the elevations of the remainder of the excavation shall be provided prior to issuance of any permit for above grade construction.

Wall Check Survey

The developer agrees to submit one (1) original and three (3) copies of a wall check survey to confirm its consistency with the plans approved by the County Board, as referenced in Conditions #1 and #10 above. The wall check survey shall show the location of the walls at the top level of the below-grade structure, and will be provided prior to the issuance of a permit for above-grade construction. The developer further agrees that, within thirty (30) days after approval of the wall check survey, or such other time as mutually agreed upon by the Zoning

Administrator and the developer, to submit to the Zoning Administrator a wall check survey showing the location of the walls and the elevation of the slab, at grade.



Site Plans #13

1600 and 1900 S. Eads Street

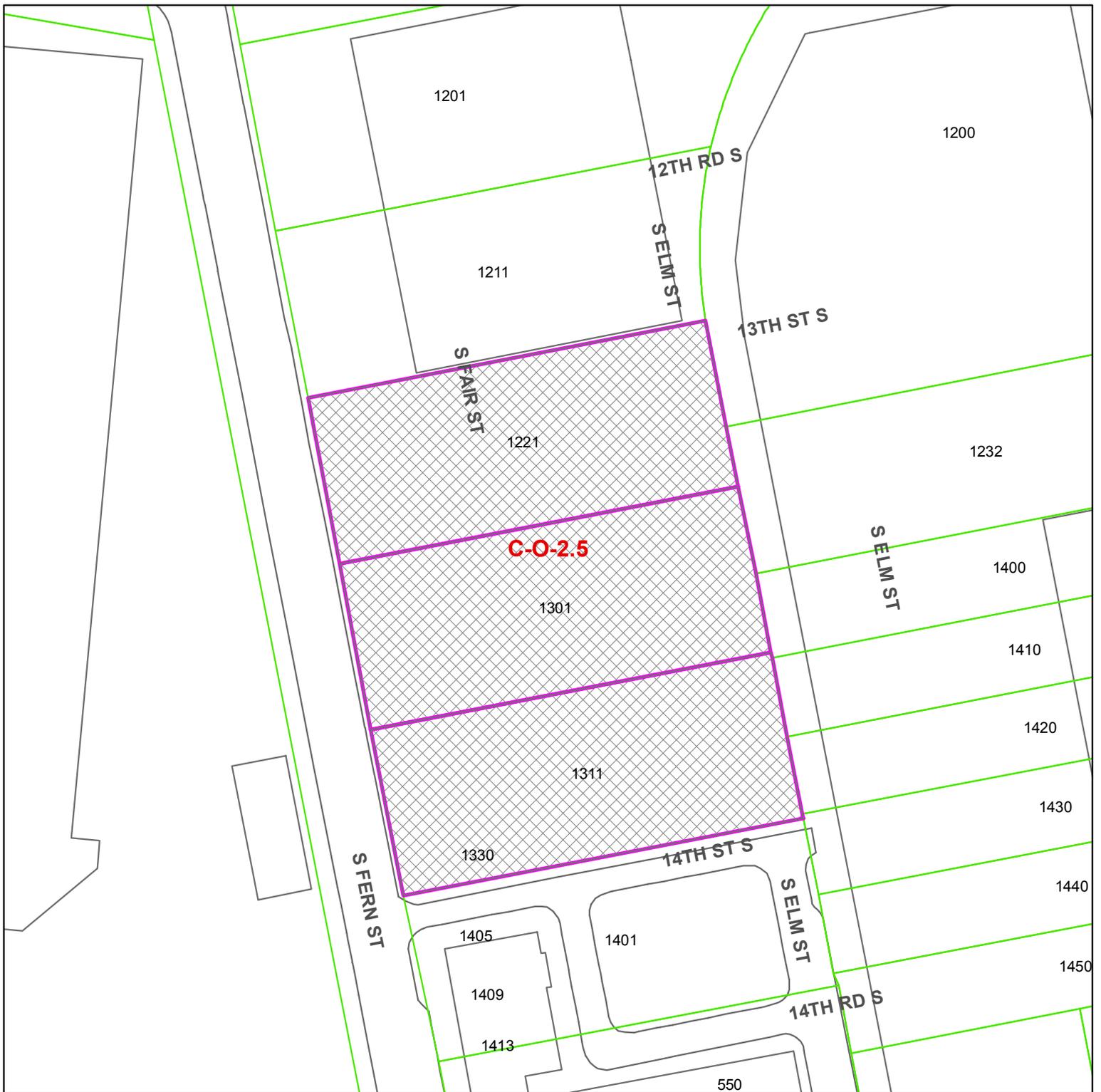
RPC #35-011-007 and -008, and 36-018-014



 Case Location(s)

Scale: 1:7,691

Note: These maps are for property location assistance only. They may not represent the latest survey and other information.



SP# 105

Two Metropolitan Park, 1330 S. Fair Street and 1311 S. Fern Street

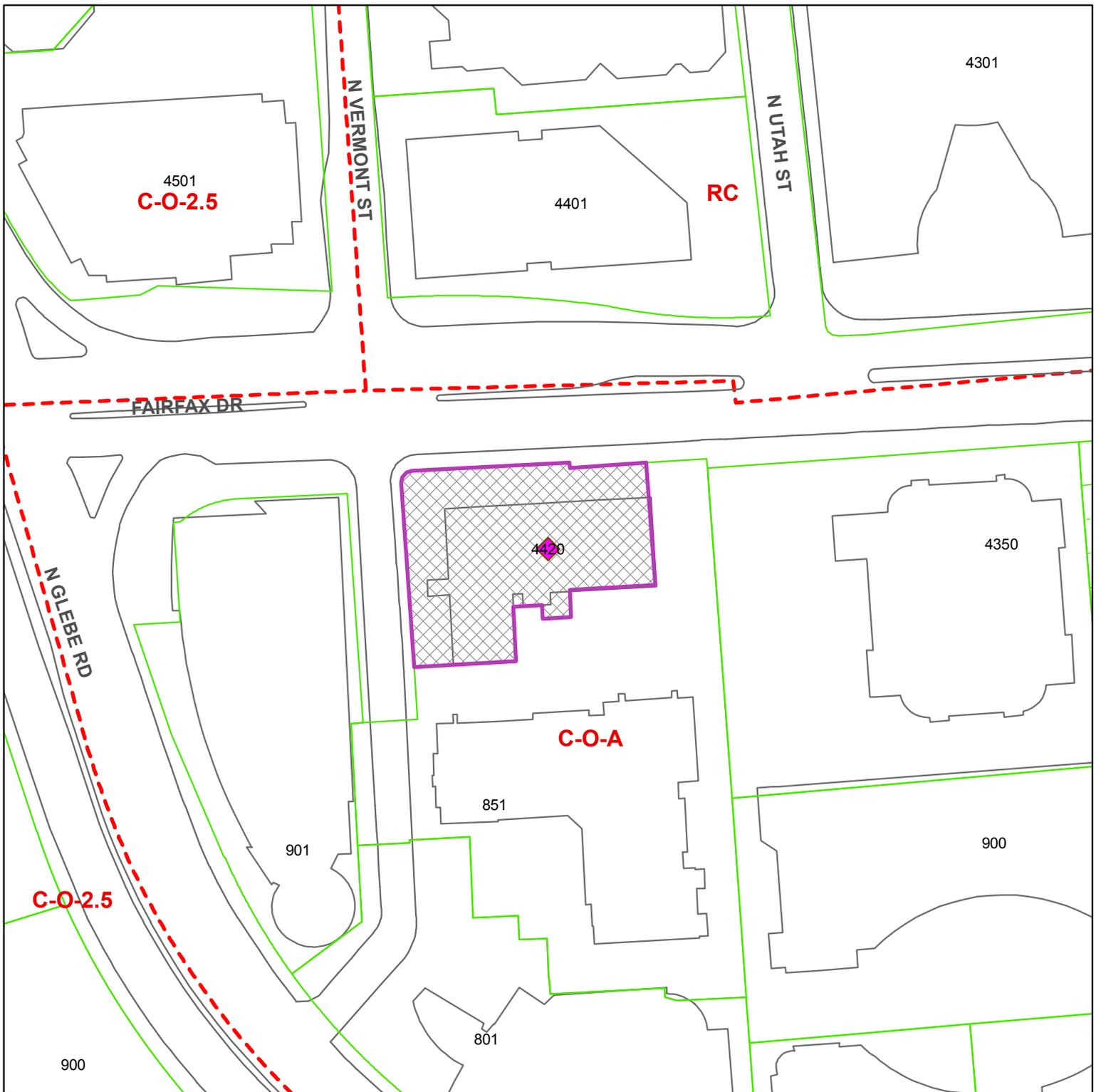
RPC #35-003-006, 007 and 008



 Case Location(s)

Scale: 1:1,200

Note: These maps are for property location assistance only.
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SP# 331

4420 N. Fairfax Drive

RPC #14-051-019



 Case Location(s)

Scale: 1:1,200

Note: These maps are for property location assistance only.
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Sp 335

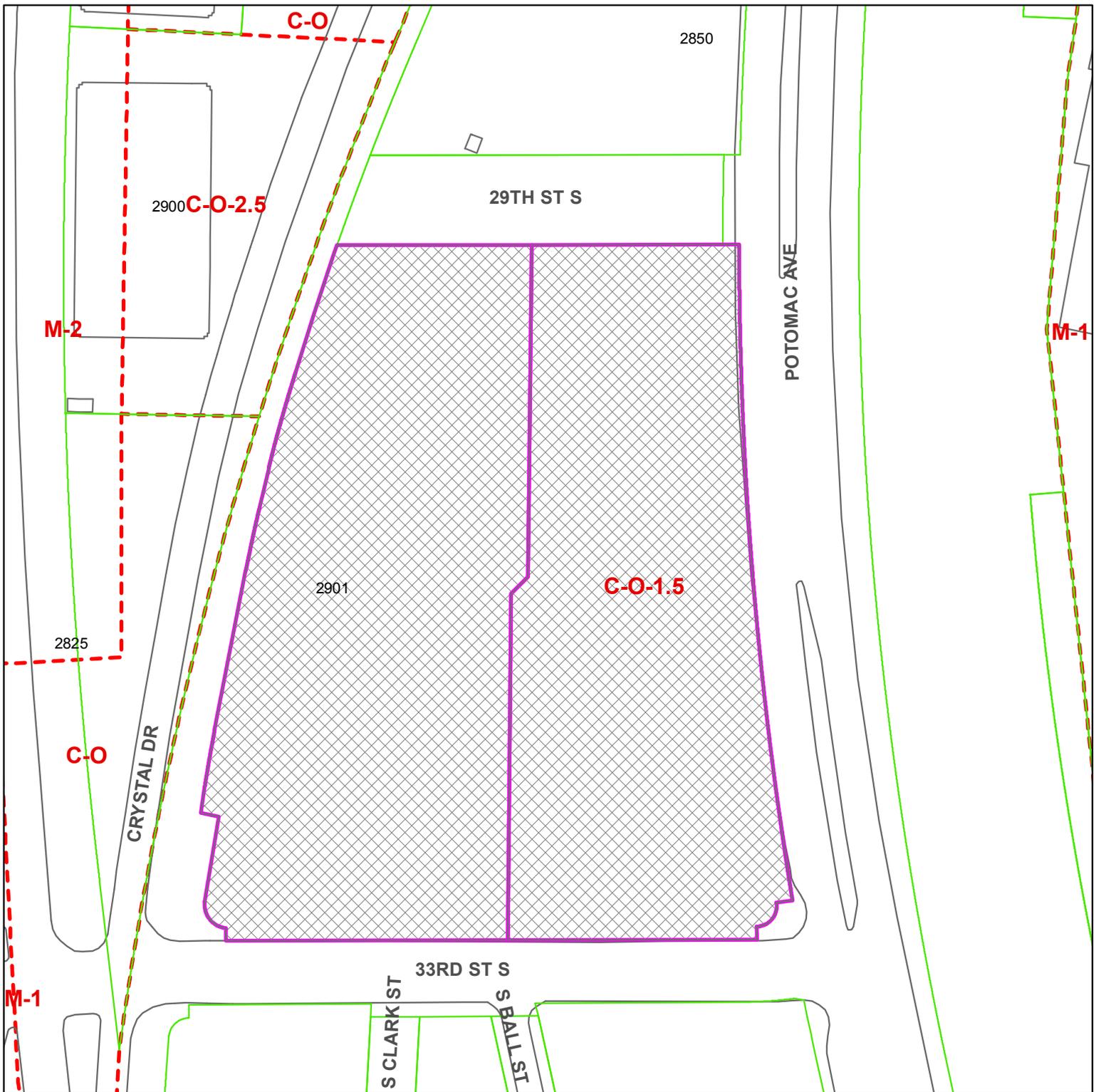
**1201 and 1213 Wilson Boulevard, 1730 and portions of N. Lynn Street,
1821 N. Moore Street**

RPC #16-038-001, -002, -003, -004, -014, -015 and -016



 Case Location

Note: These maps are for property location assistance only.
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SP# 346 Potomac Yard Land Bay C

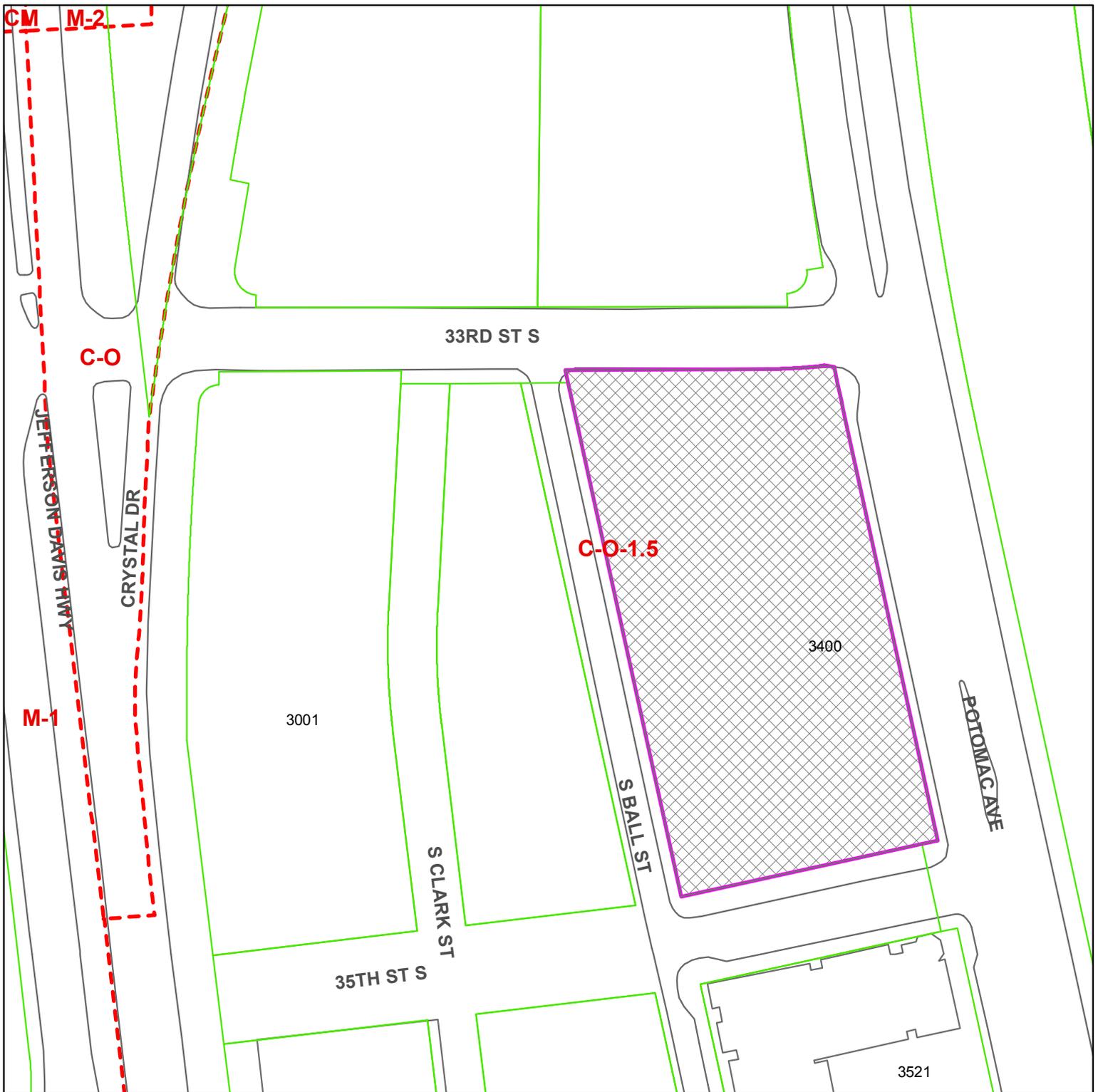
Potomac Yard Land Bay C, portion of Crystal Drive

RPC #34-027-071 and -072



 Case Location(s)
Scale: 1:1,200

Note: These maps are for property location assistance only.
They may not represent the latest survey and other information.



SP# 346 Potomac Yard Land Bay D-East

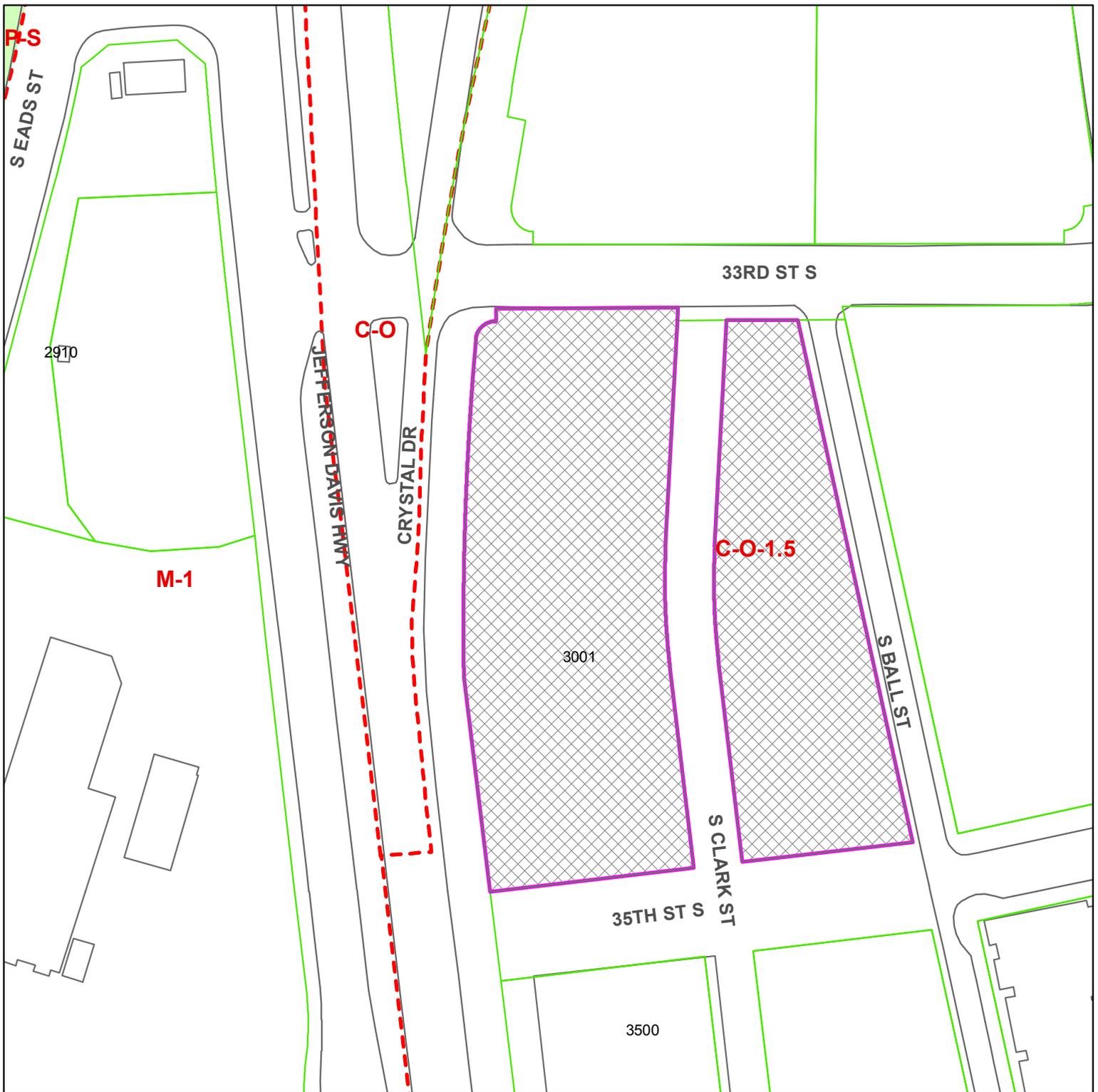
Potomac Yard Land Bay D-East, 3400 Potomac Avenue

RPC #34-027-062



 Case Location(s)
Scale: 1:1,200

Note: These maps are for property location assistance only.
They may not represent the latest survey and other information.



SP# 346

Potomac Yard Land Bay D-West and Center Park, portions of Crystal Drive and Jefferson Davis Highway

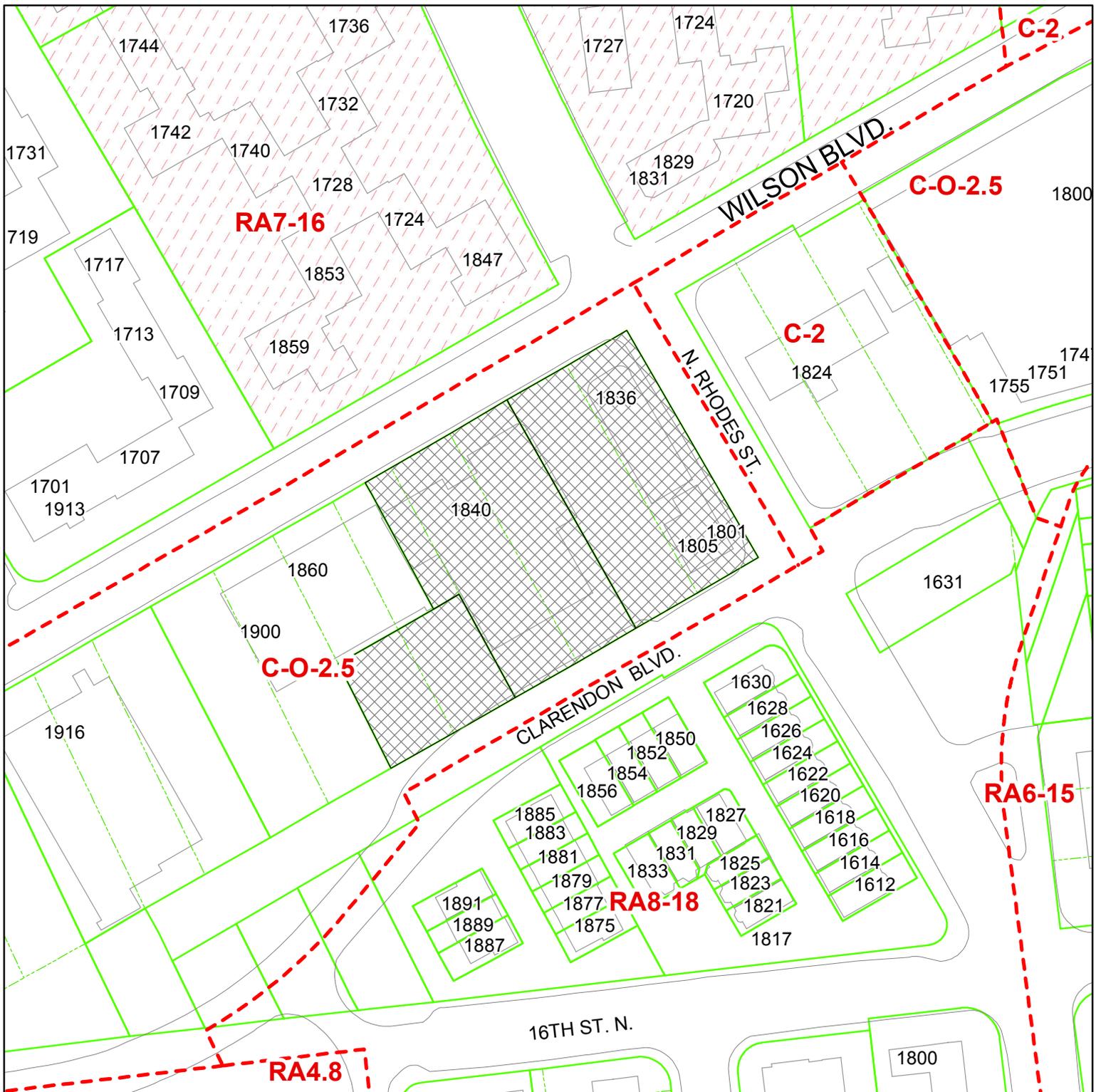
RPC #34-027-052 and -065



 Case Location(s)

Scale: 1:1,200

Note: These maps are for property location assistance only. They may not represent the latest survey and other information.



Sp 382

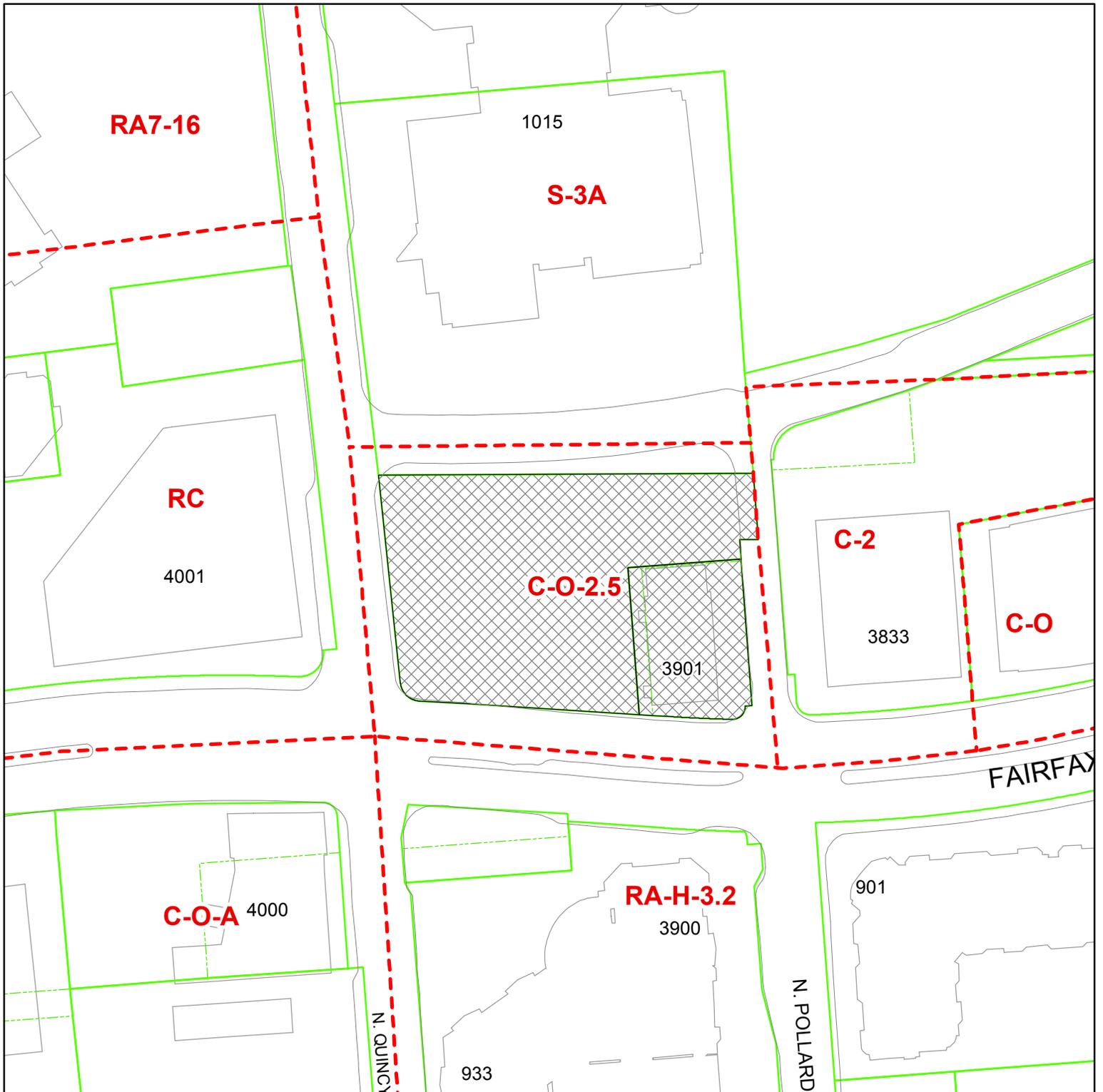
1836 and 1840 Wilson Boulevard, 1801 and 1805 Clarendon Boulevard, and portion of 17th Street North

RPC #17-011-019, -021 and -023



 Case Location

Note: These maps are for property location assistance only. They may not represent the latest survey and other information.



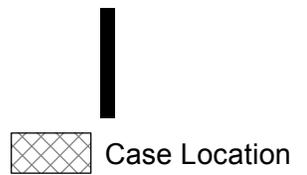
Sp 386

3901 N. Fairfax Drive

RPC #14-030-057 and -058

Note: These maps are for property location assistance only.
They may not represent the latest survey and other information.

Department of Community Planning, Housing and Development



Planning Division



SP#387
2400 24th Rd S
RPC# 32-024-003

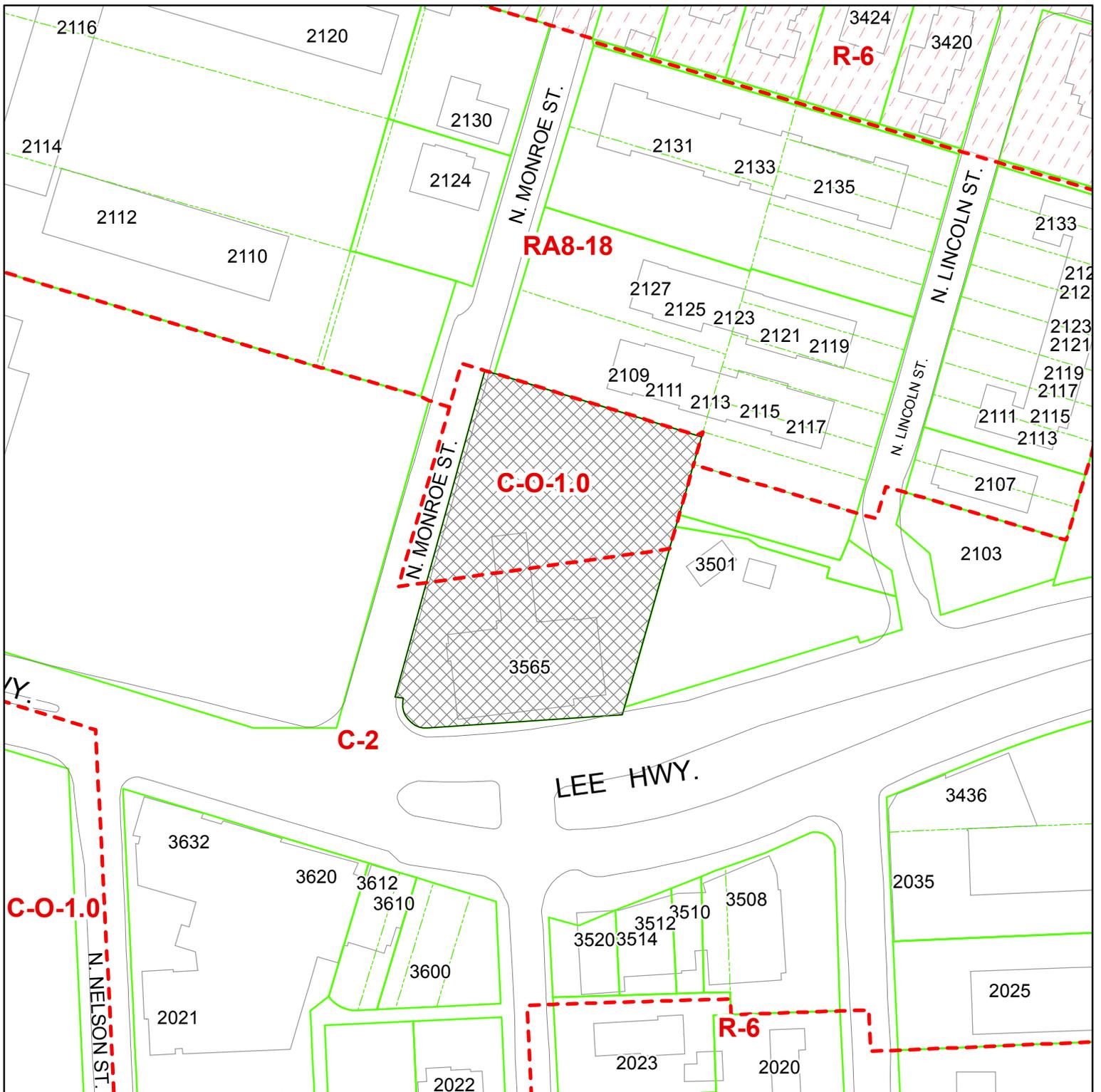
Note: These maps are for property location assistance only.
 They may not represent the latest survey and other information.

Department of Community Planning, Housing and Development

Not To Scale

Case Location(s)

Planning Division



Sp 395

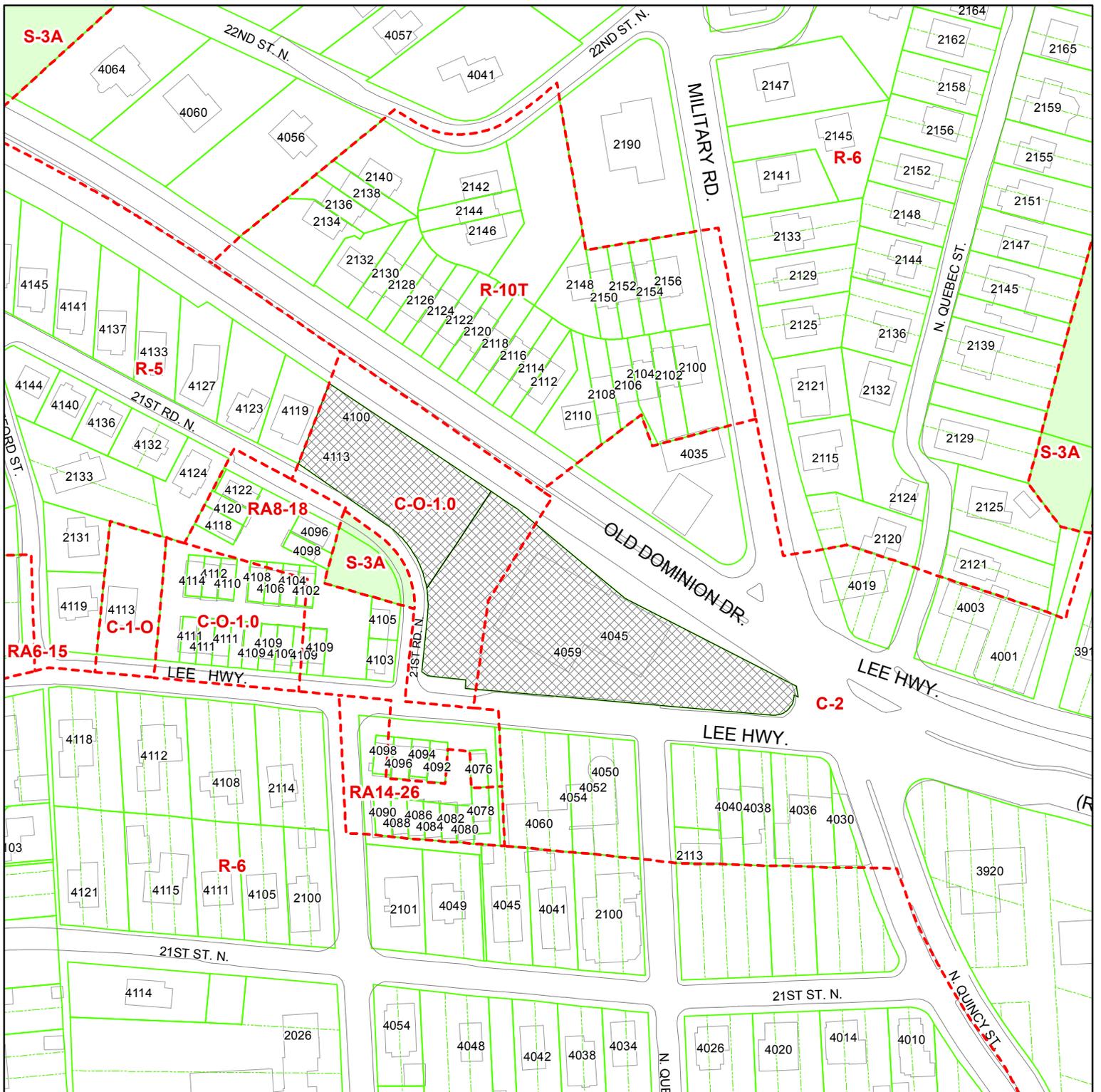
3565 Lee Highway

RPC #05-056-002



 Case Location

Note: These maps are for property location assistance only. They may not represent the latest survey and other information.



Sp 396

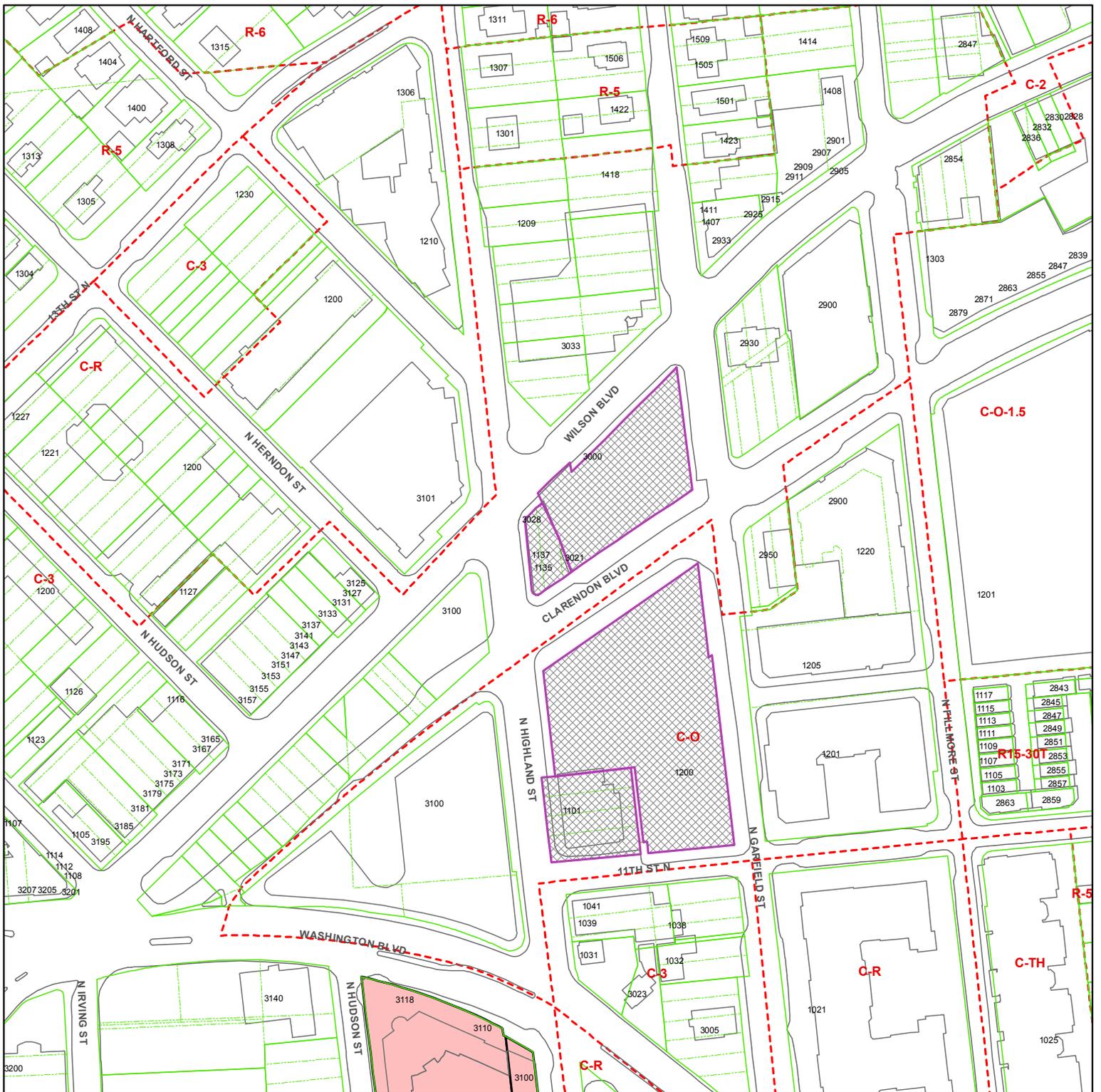
4100 Old Dominion Drive, 4045, and 4059 Lee Highway

RPC #06-011-045 and RPC #06-011-046



 Case Location

Note: These maps are for property location assistance only.
They may not represent the latest survey and other information.



SP# 397

3000 , 3012, 3014, 3016, 3017, 3018 and 3020 Wilson Boulevard, 1101 N. Highland Street, 1200 N. Garfield Street, and 3017 and 3030 Clarendon Boulevard

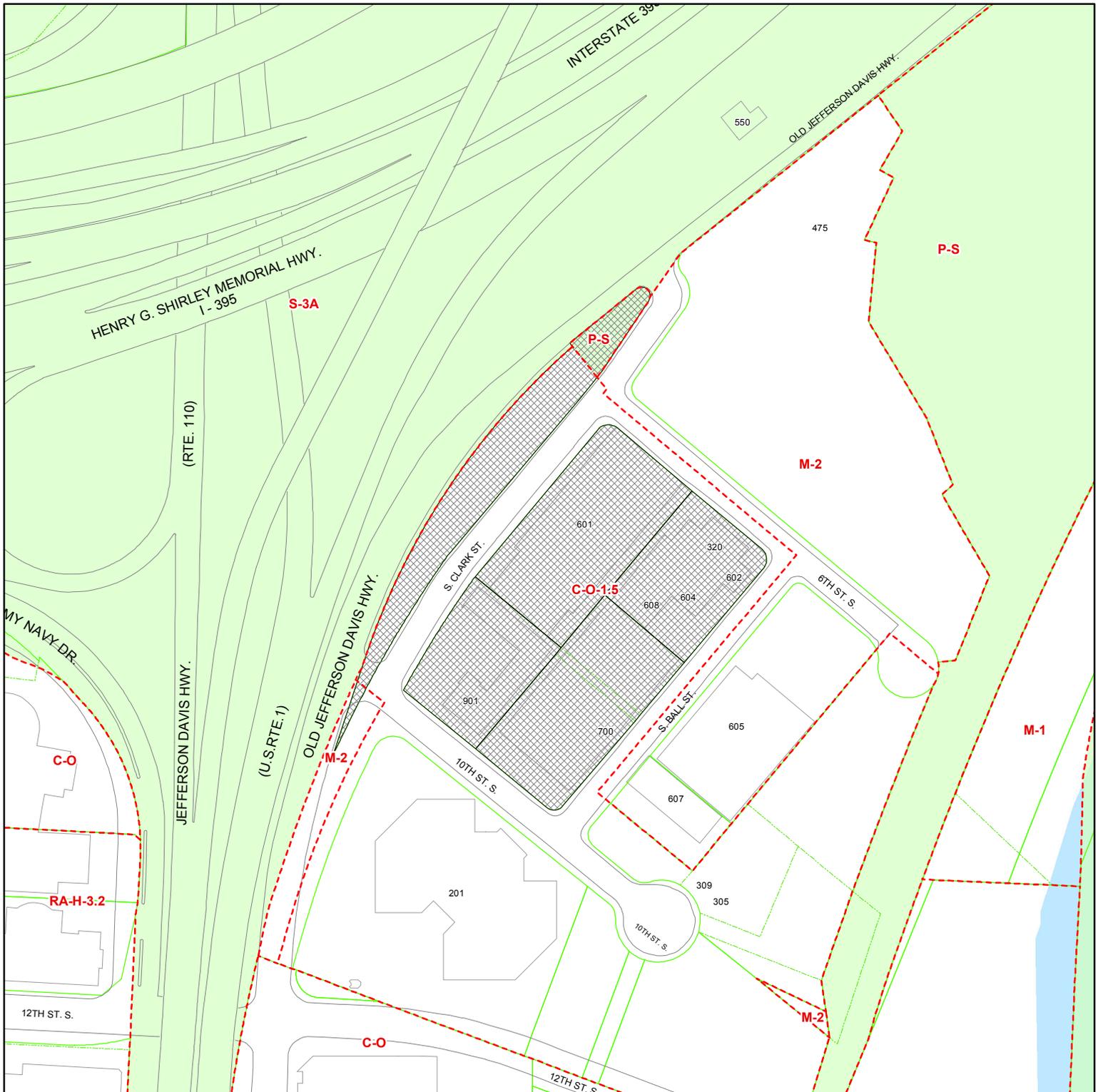
RPC #18-012-003 and -004, and 18-013-010 and -011



 Case Location(s)

Scale: 1:2,091

Note: These maps are for property location assistance only. They may not represent the latest survey and other information.



Sp 400

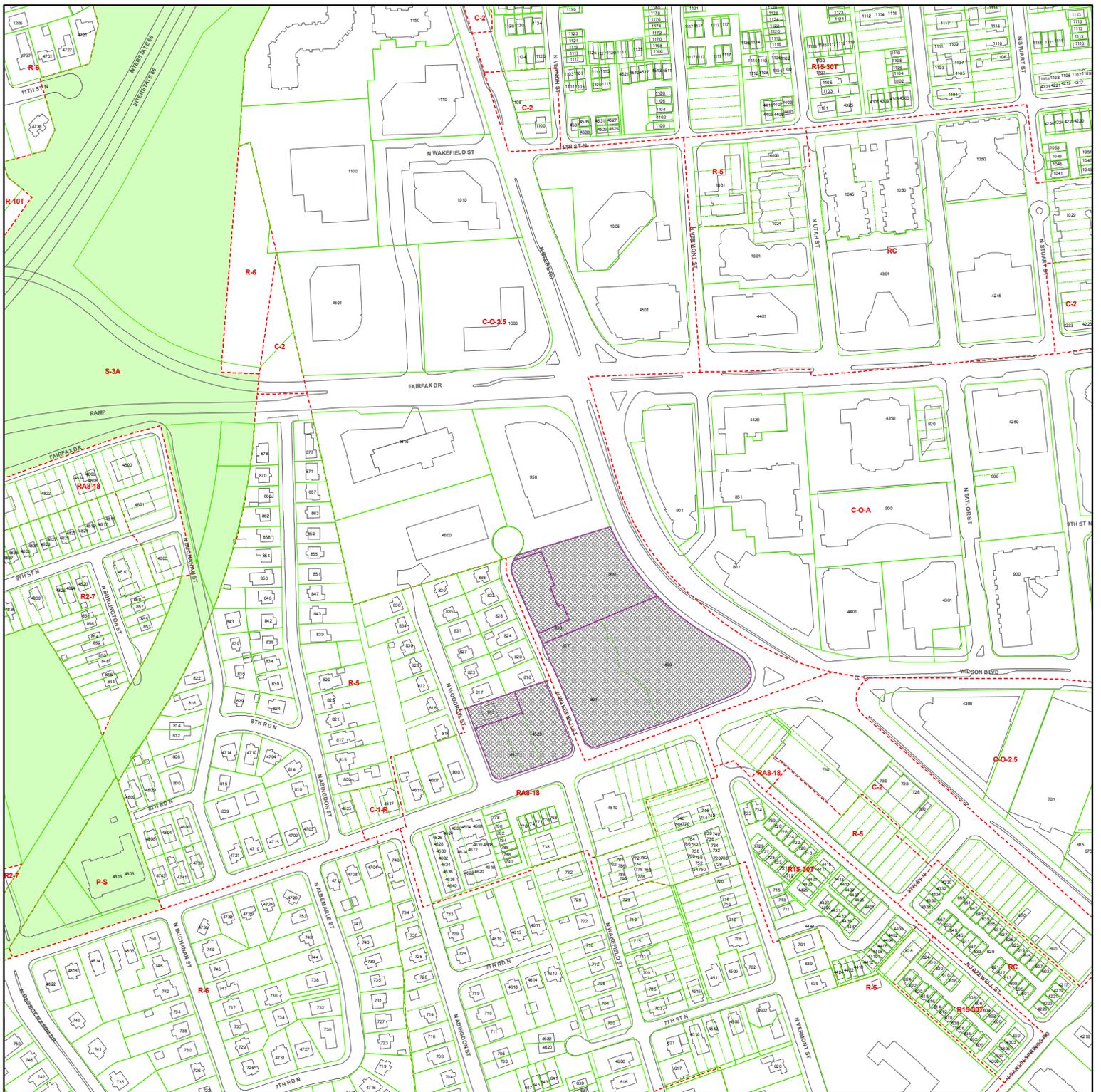
320 6th Street South, 608 S. Ball Street, 901 S. Clark Street

RPC #34-025-001, -003, -004 and -005, and part 34-024-345



 Case Location

Note: These maps are for property location assistance only.
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SP# 401

800 and 900 N. Glebe Road, 4525 and 4527 Wilson Boulevard, 815 N. Woodrow Street, and portion of N. Wakefield Street

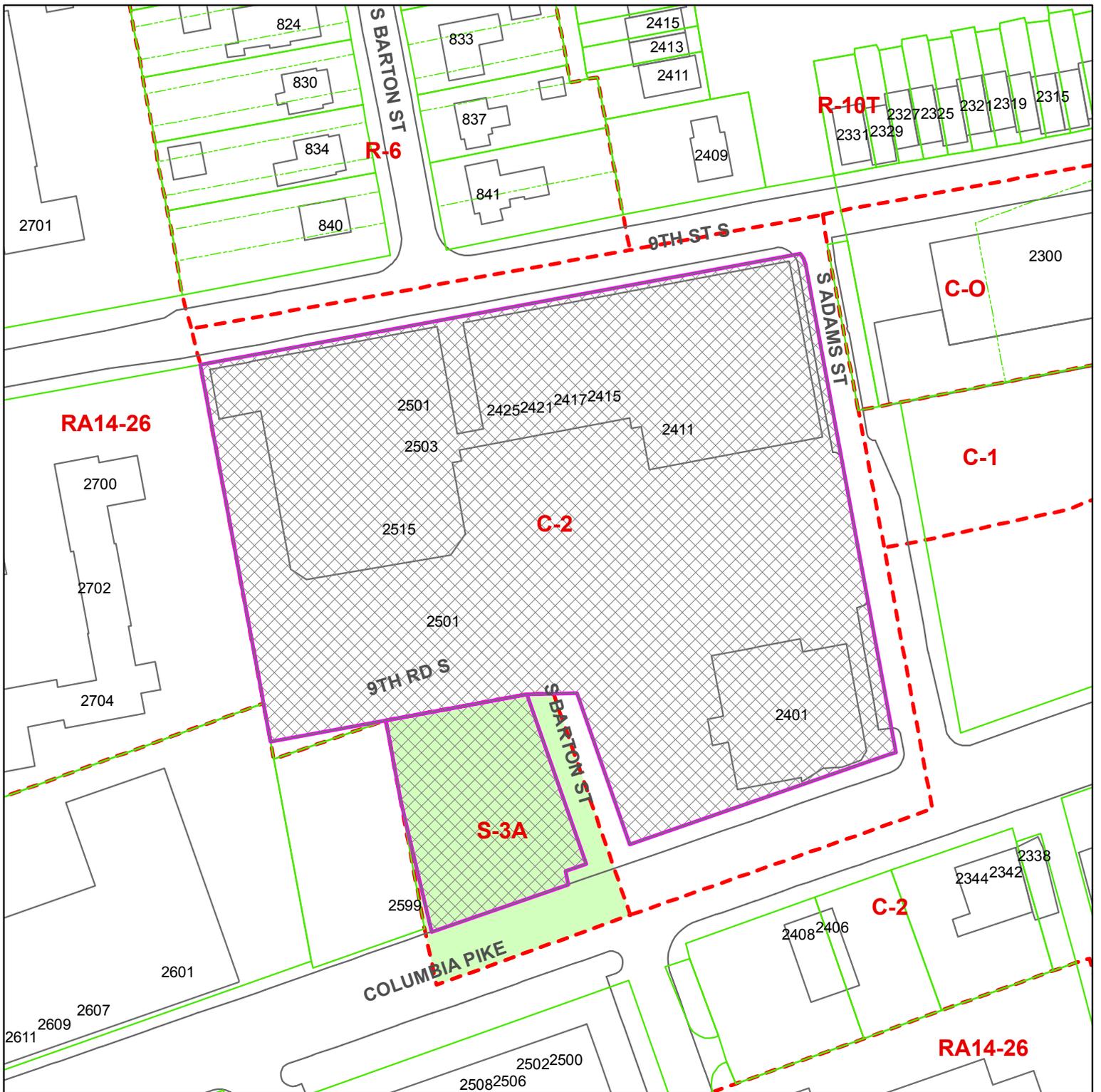
RPC #14-053-058, -060, -061 and -062, 14-054-001 and -002



 Case Location(s)

Scale: 1:4,000

Note: These maps are for property location assistance only. They may not represent the latest survey and other information.



SP# 402

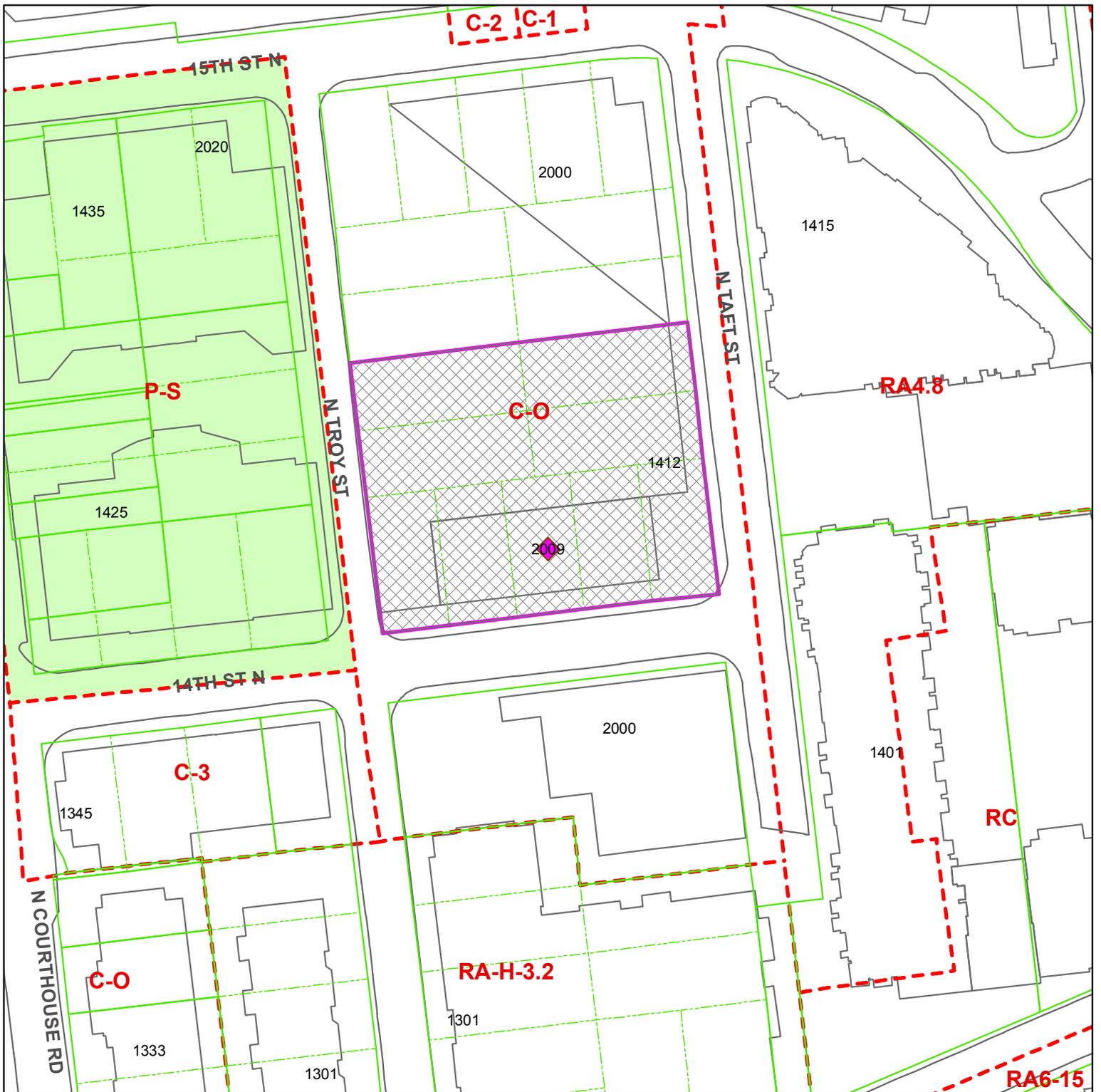
Penrose Square, 2501 9th Road South

RPC #25-016-012 and -013



 Case Location(s)
Scale: 1:1,200

Note: These maps are for property location assistance only.
They may not represent the latest survey and other information.



SP# 403

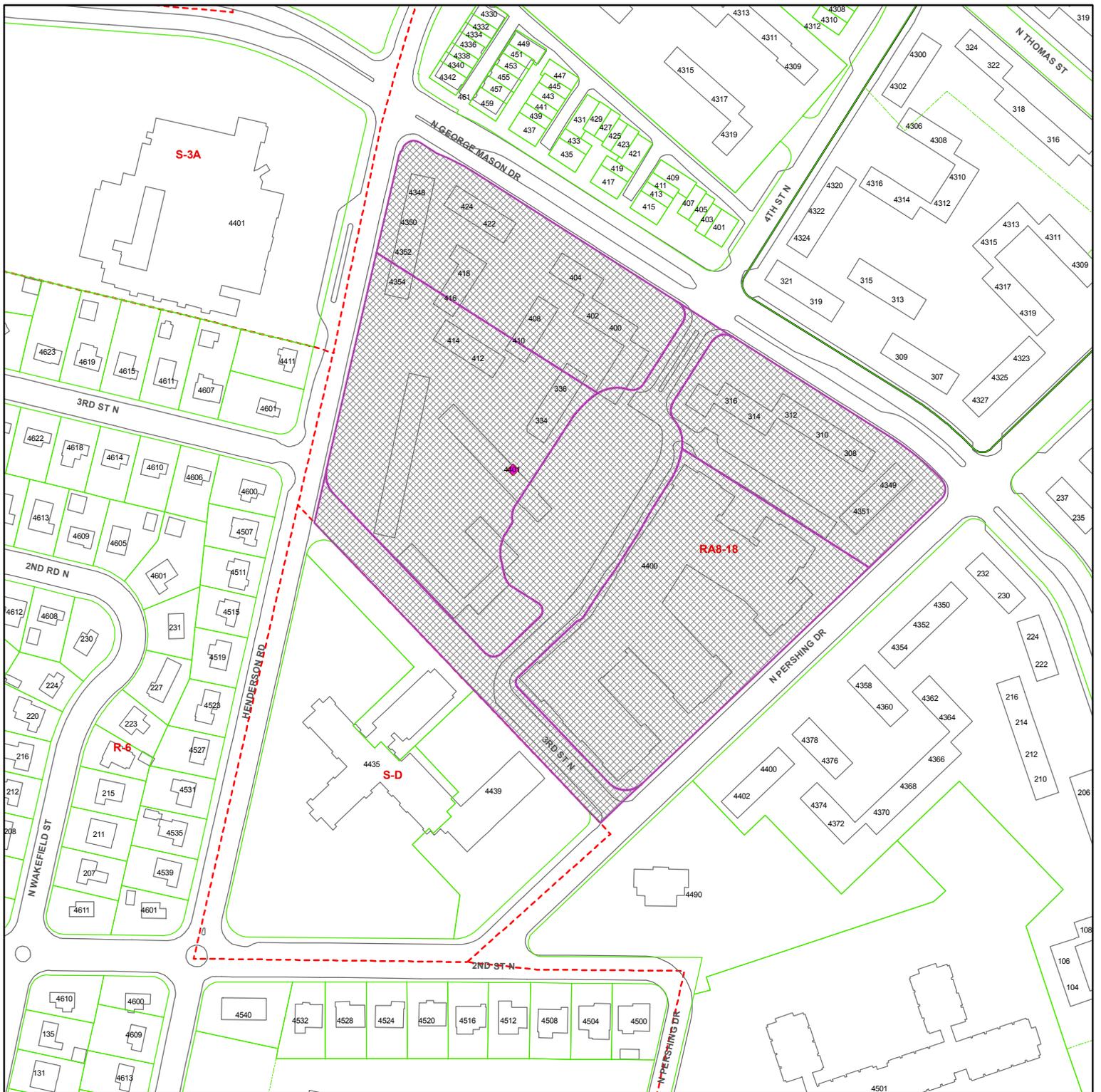
209 14th Street, 209 14th Street North and 1412 N. Taft Street

RPC #17-014-001



 Case Location(s)
 Scale: 1:1,200

Note: These maps are for property location assistance only.
 They may not represent the latest survey and other information.



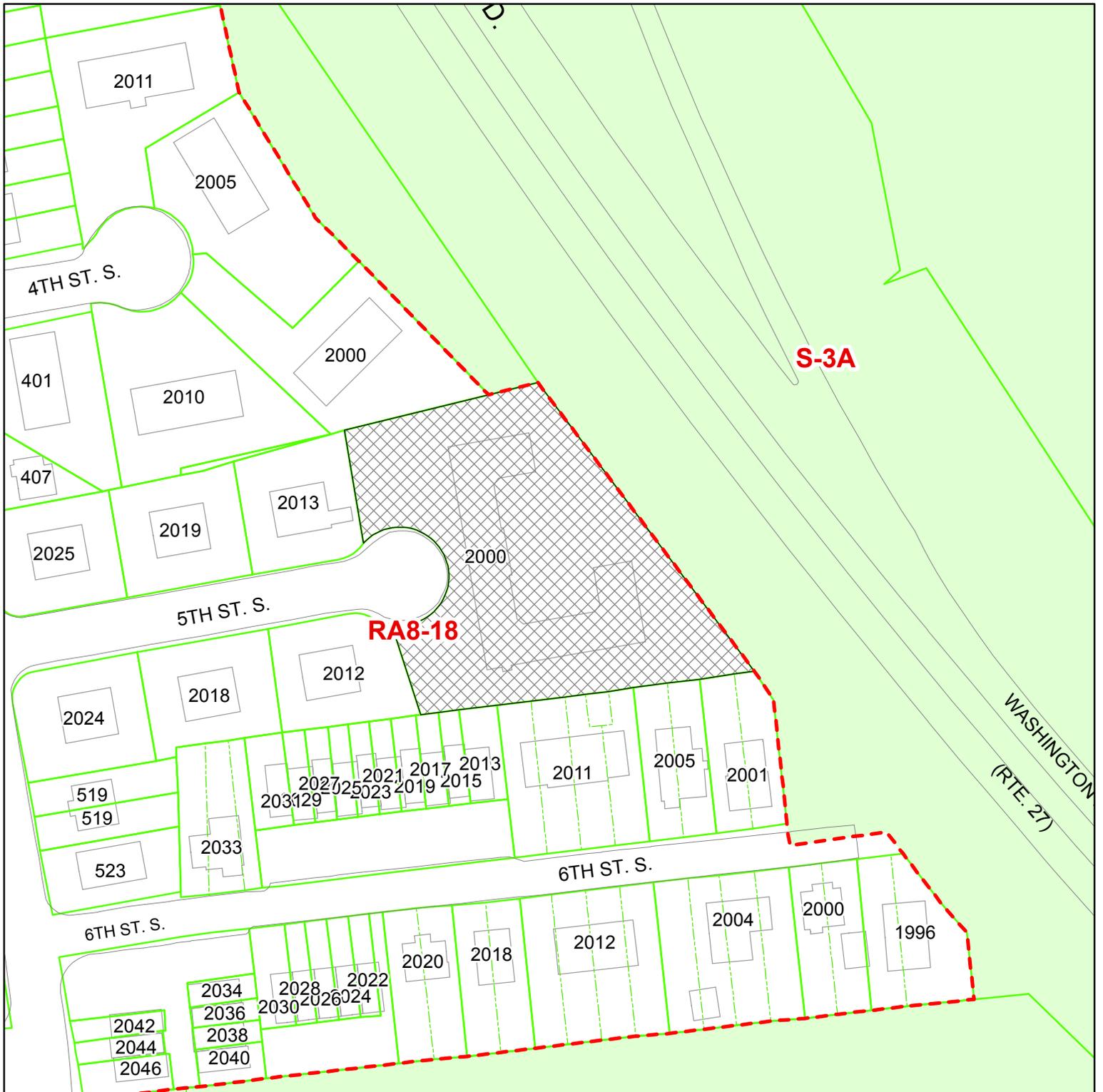
SP#405

at 4401 4th Street North and 4349 North Pershing Drive

RPC#20-024-240, -241, -242, -243, and -244

 Case
 Location(s)
 Scale: 1:2,400

Note: These maps are for property location assistance only.
 They may not represent the latest survey and other information.



Sp 408

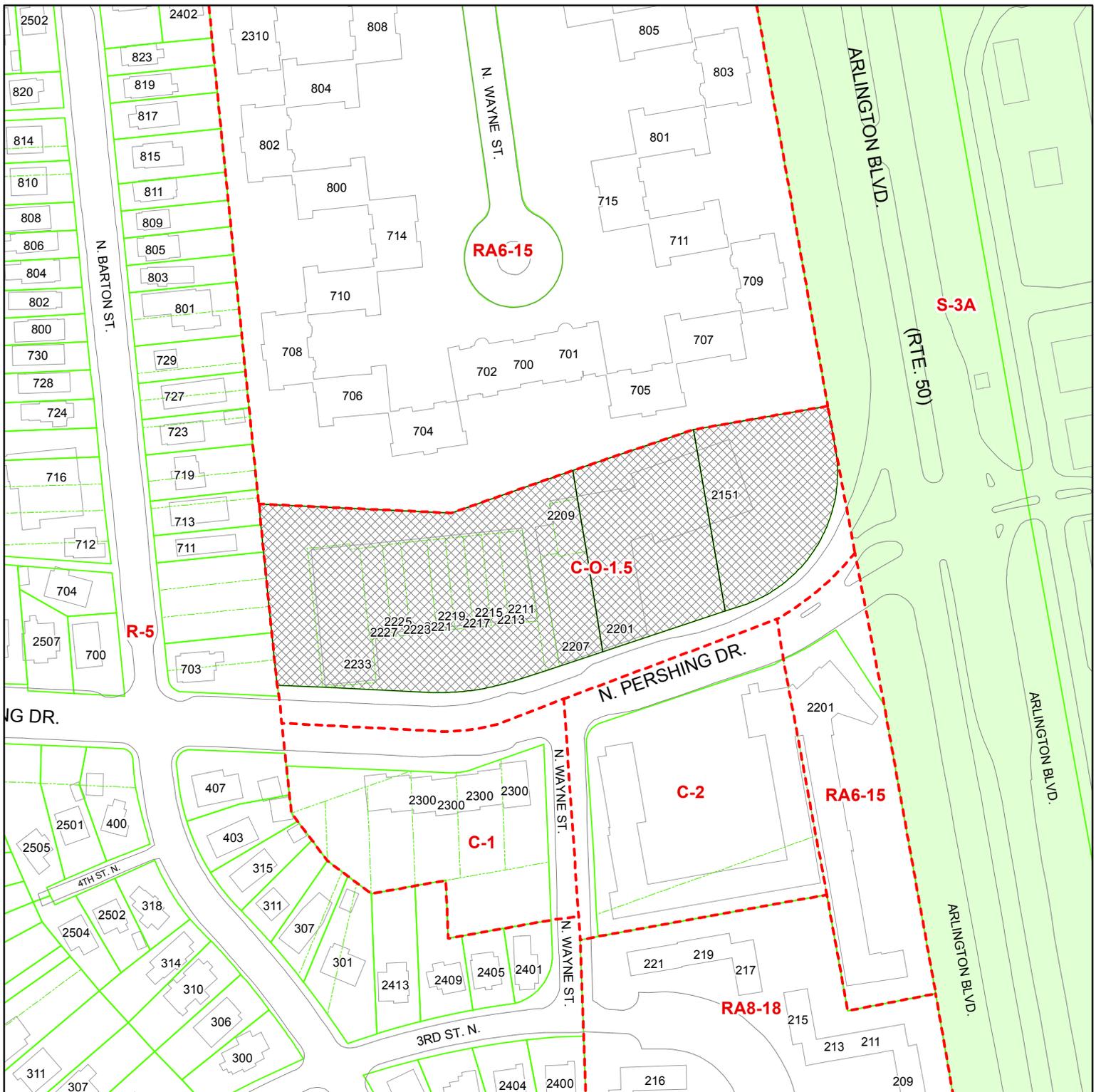
2000 5th Street South

RPC #24-032-036



 Case Location

Note: These maps are for property location assistance only. They may not represent the latest survey and other information.



Sp 406

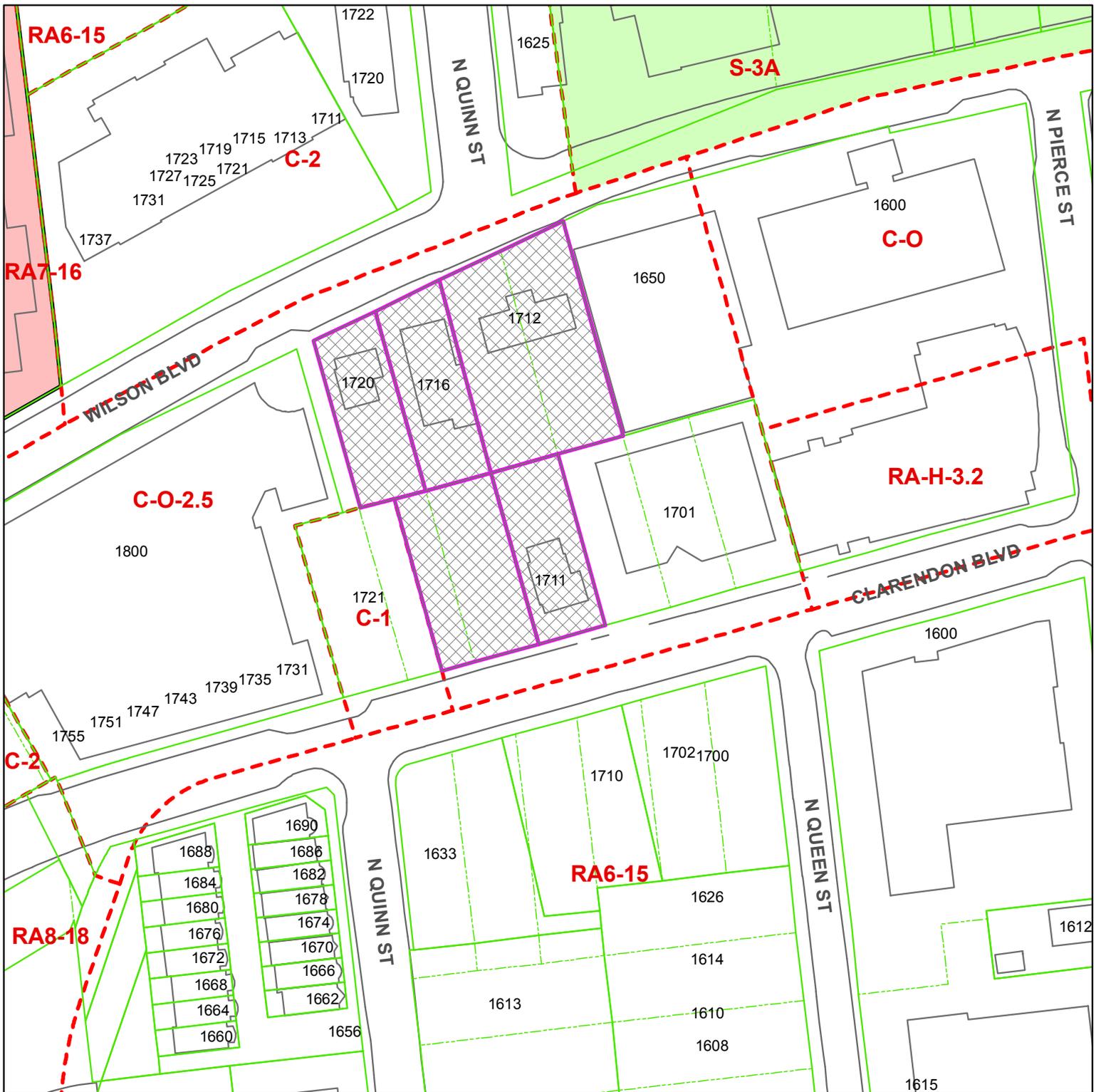
2201 Pershing Drive, and 2151, 2201 and 2207 N. Pershing Drive,

RPC #18-038-019, -020 and -02



 Case Location

Note: These maps are for property location assistance only.
They may not represent the latest survey and other information.



SP# 409

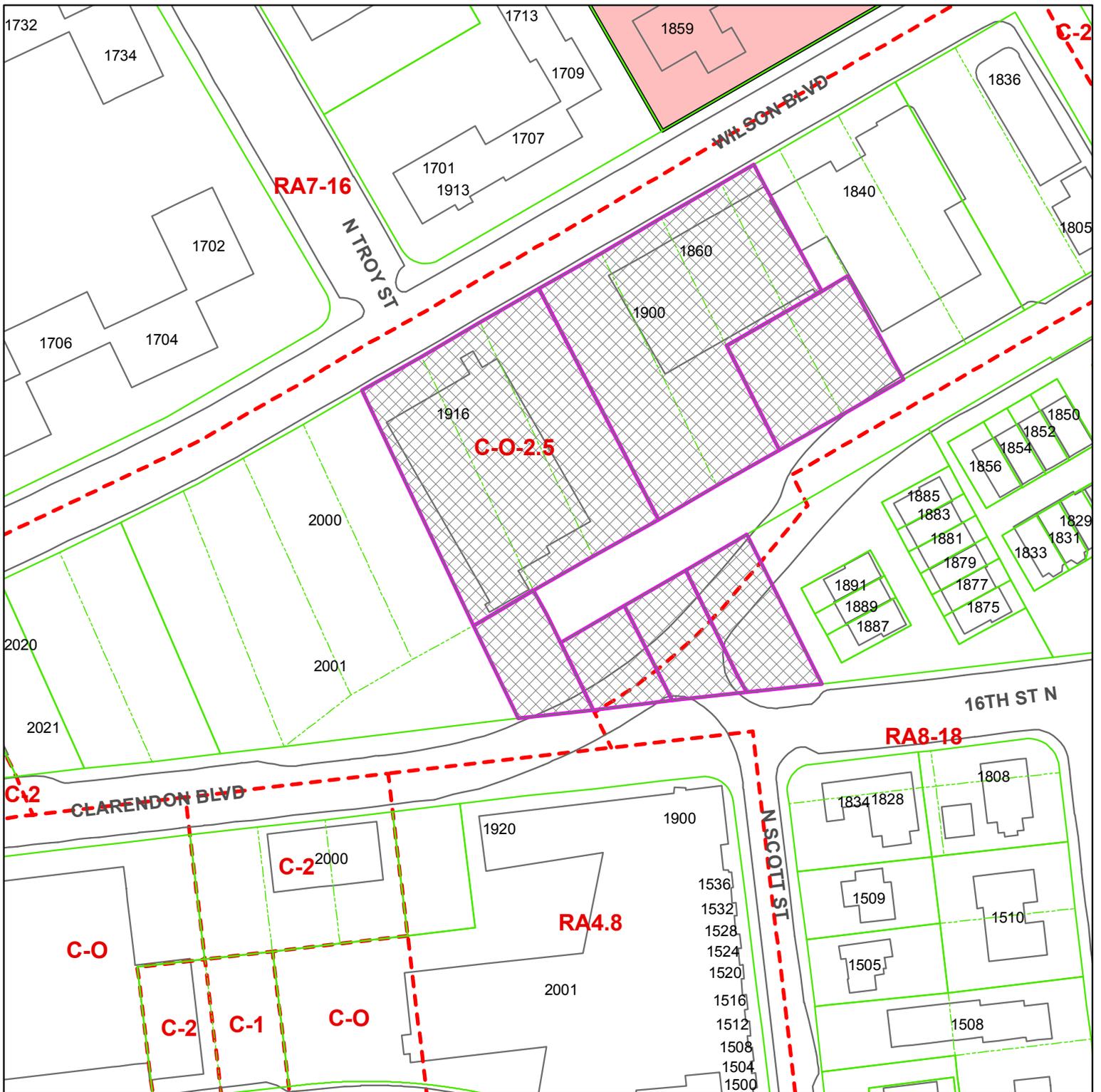
1716 Wilson Boulevard, 1711 Clarendon Boulevard, and portion of Clarendon Boulevard, and 1712, 1716 and 1720 Wilson Boulevard

RPC #17-010-008, -009, -022, -023 and -030



 Case Location(s)
Scale: 1:1,200

Note: These maps are for property location assistance only. They may not represent the latest survey and other information.



SP# 411

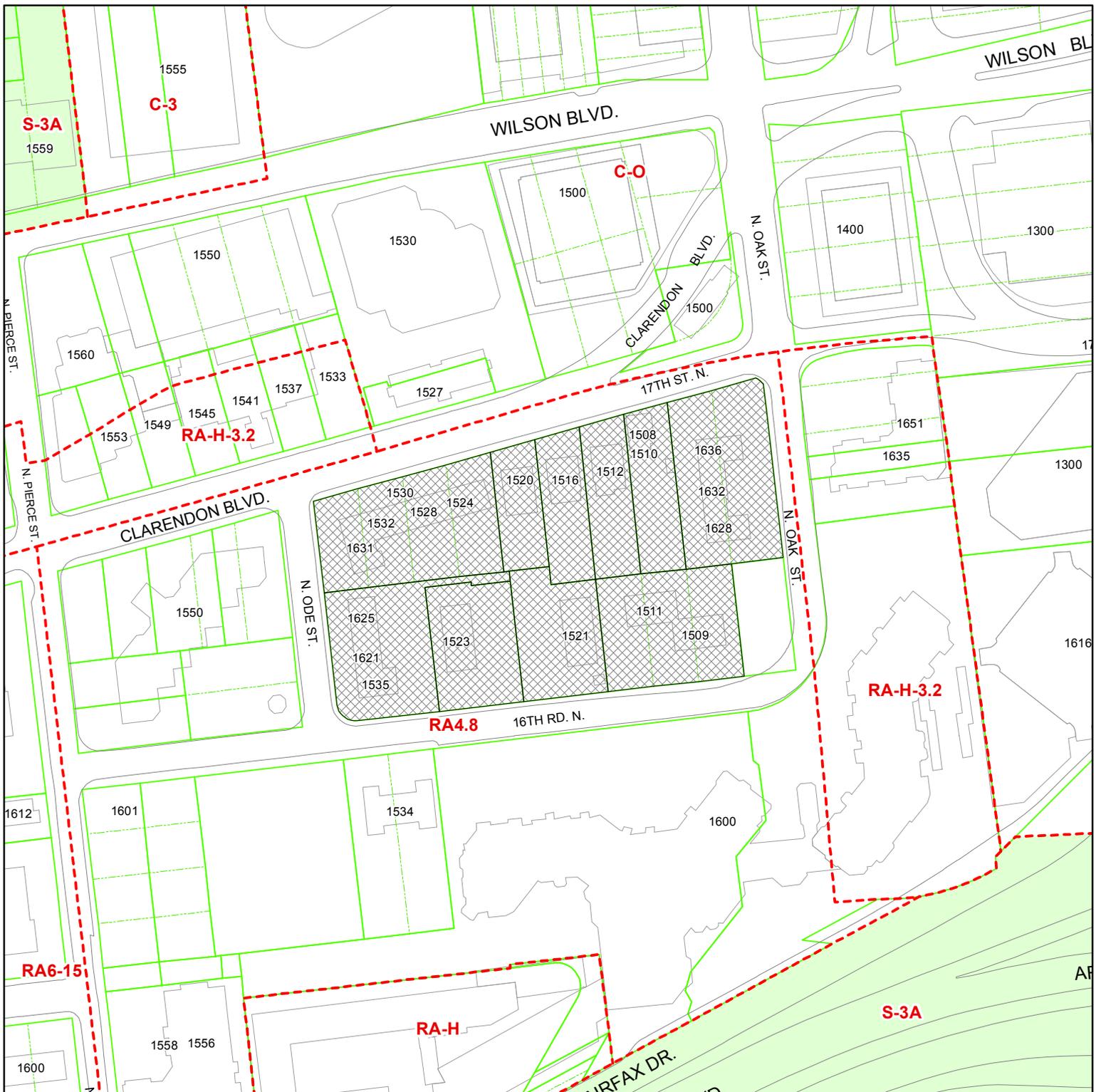
1900 Wilson, 16th Street North, 17th Street North, and 1860, 1900 and 1916 Wilson Boulevard

RPC #17-011-006, -007, -008, -017, -018 and -019, and portions of -009



 Case Location(s)
 Scale: 1:1,200

Note: These maps are for property location assistance only. They may not represent the latest survey and other information.



Sp 412

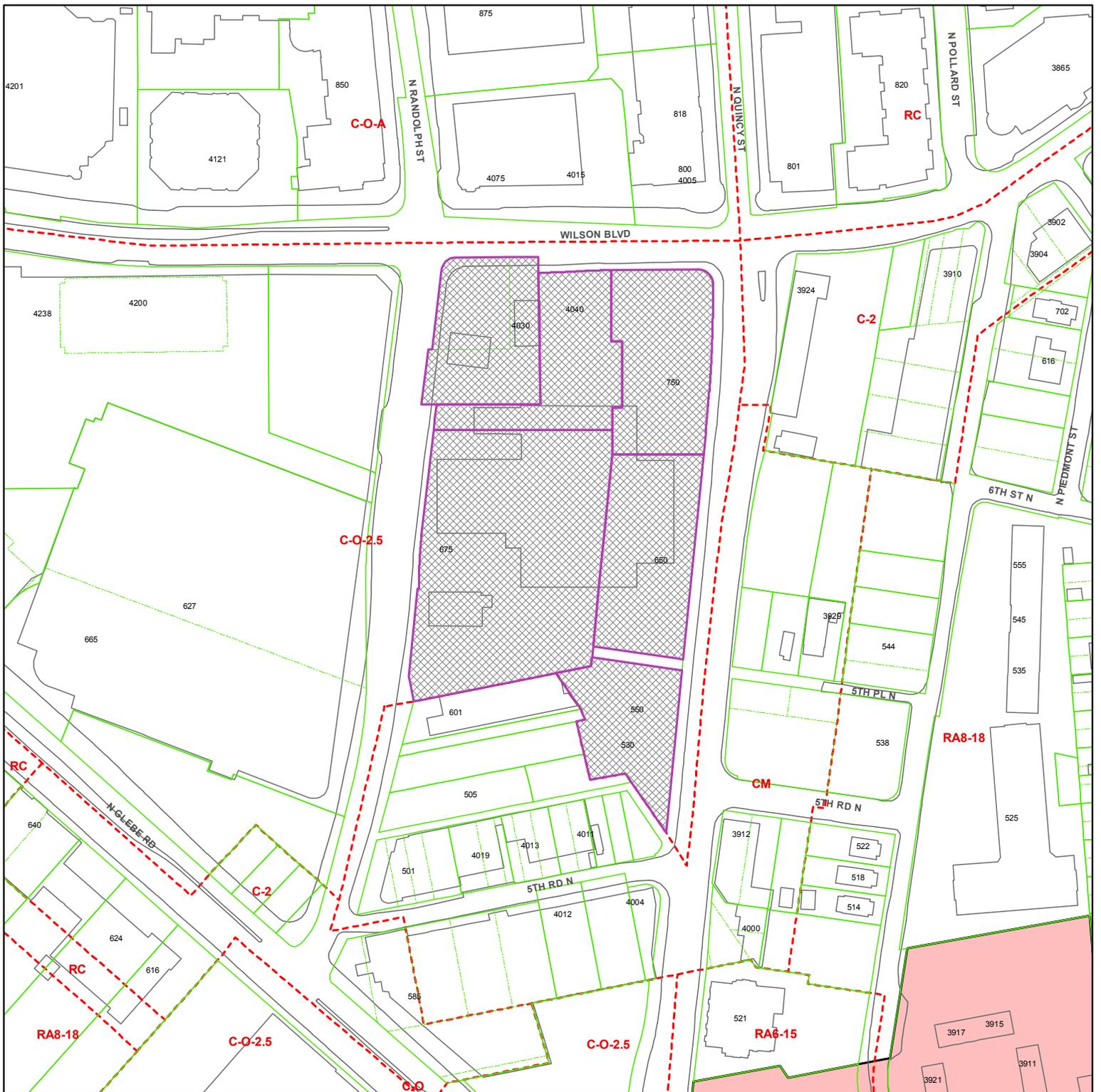
1510 and 1530 Clarendon Boulevard

RPC #17-005-002, -003, -004, -005, -006, -007, -008, -009, 010 and -011



 Case Location

Note: These maps are for property location assistance only.
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SP# 413

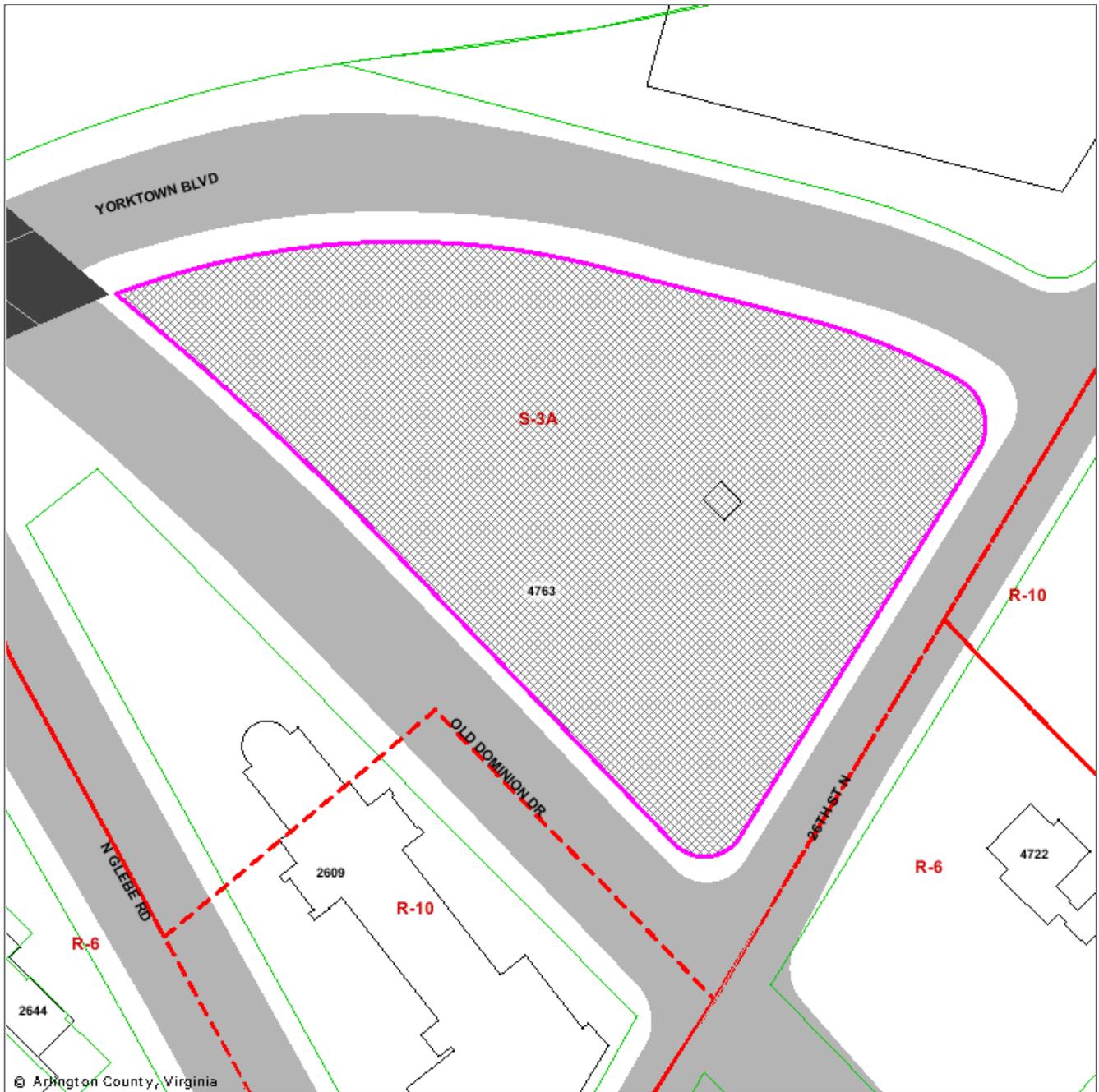
block bounded by N. Randolph Street, Wilson Boulevard, N. Quincy Street and 5th Road North

RPC #14-060-036, -068, -069, -070, -074, -077



 Case Location(s)
Scale: 1:2,214

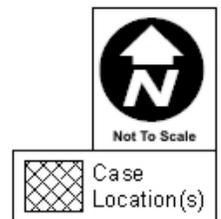
Note: These maps are for property location assistance only.
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U-1671-65-3
26th Street, Yorktown Boulevard, and Old Dominion Drive
RPC #03-065-001

Note: These maps are for property location assistance only.
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Department of Community Planning, Housing and Development



Planning Division



U-3155-06-1

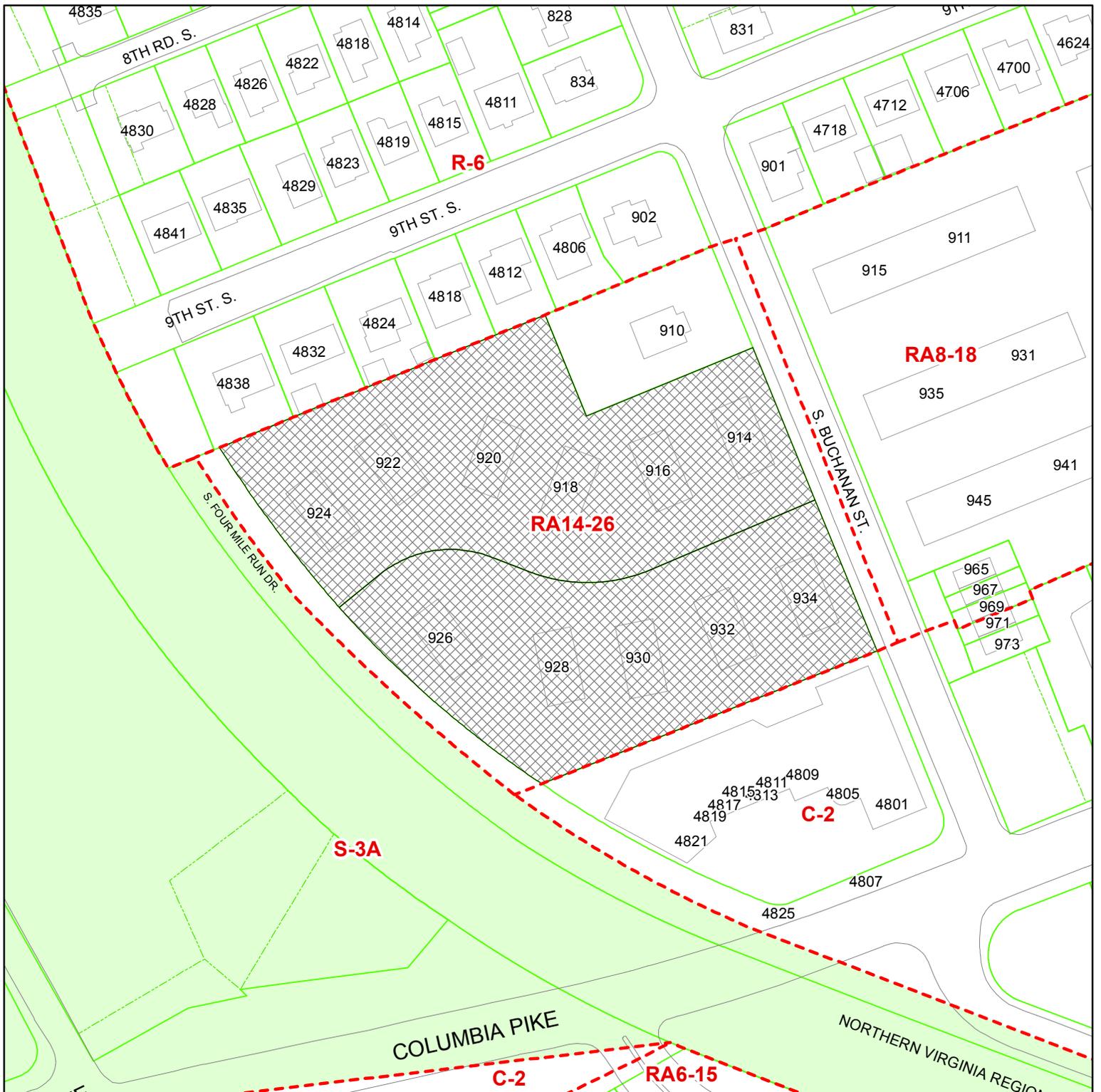
4520 N. Glebe Road RD, 4000-4009 N. Richmond Street

RPC #03-004-024, -025, -026, -027 and -028



 Case Location

Note: These maps are for property location assistance only.
They may not represent the latest survey and other information.



U-3228-09-1

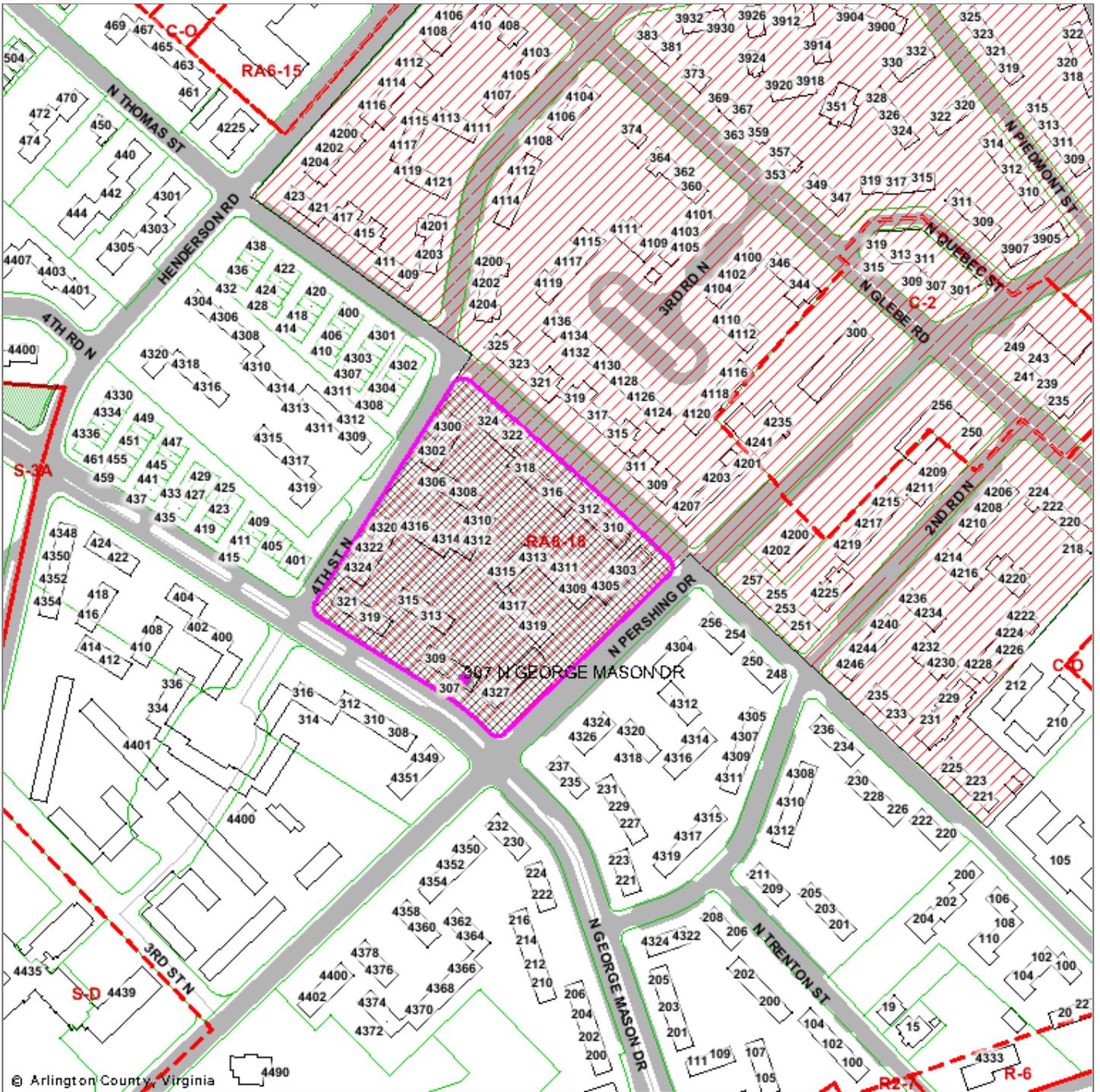
914-934 S. Buchanan Street

RPC #23-006-161 and -002



 Case Location

Note: These maps are for property location assistance only.
They may not represent the latest survey and other information.

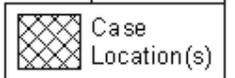


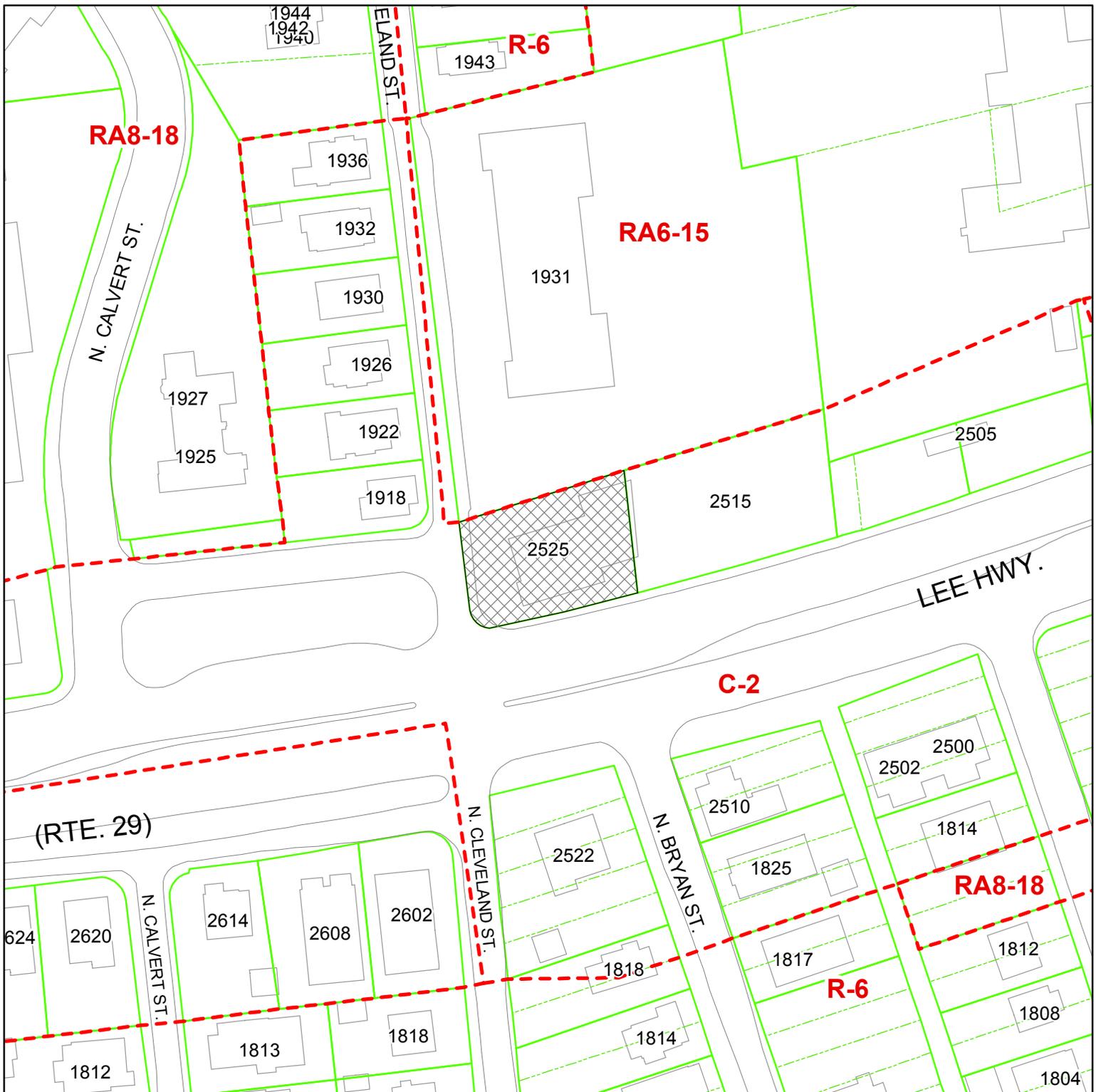
U-3242-09-1
307 North George Mason Drive
(RPC: 20-023-002)

Note: These maps are for property location assistance only.
 They may not represent the latest survey and other information.



Not To Scale





U-3148-05-1

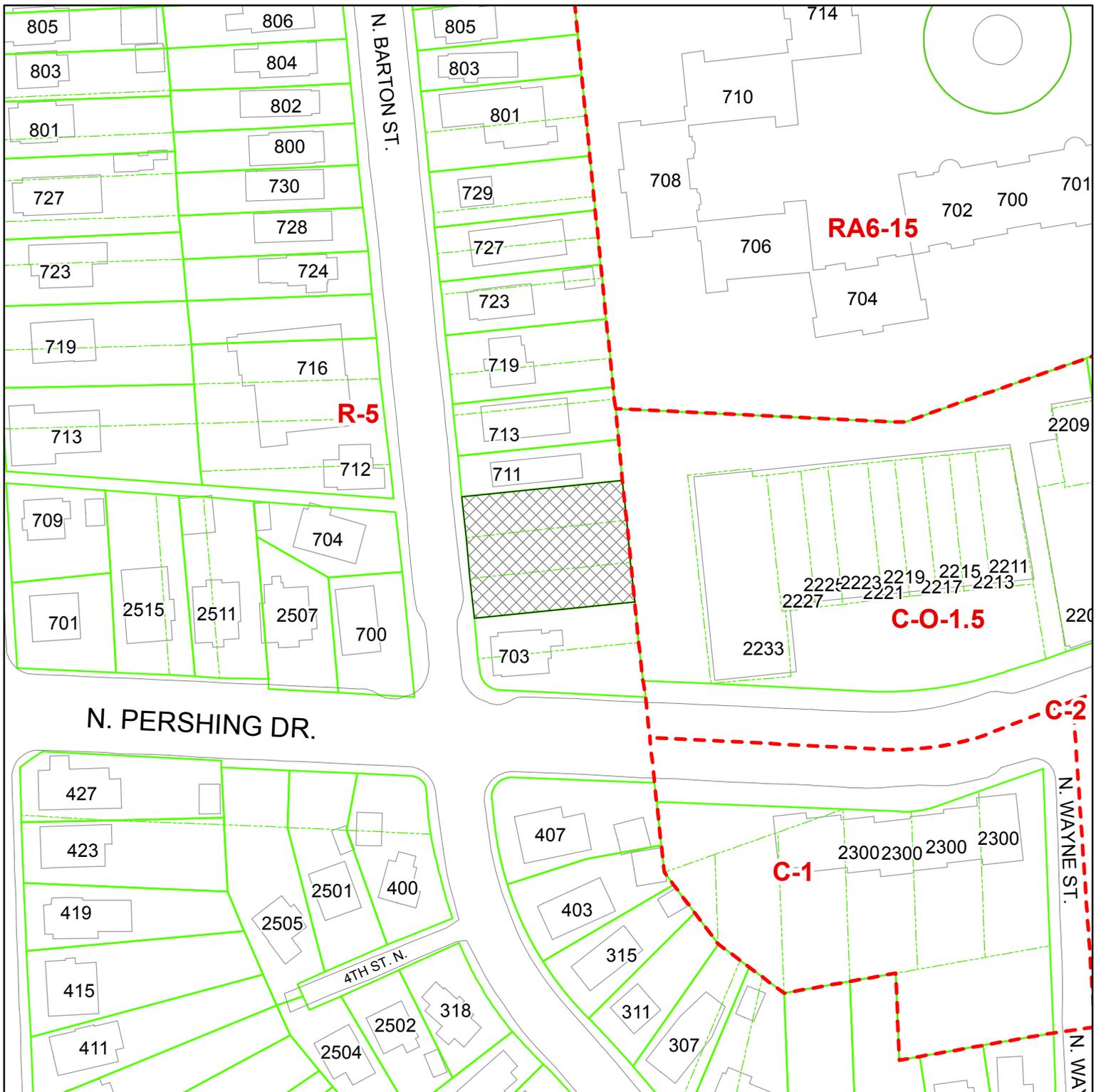
2525 Lee Highway

RPC #15-007-006



 Case Location

Note: These maps are for property location assistance only.
They may not represent the latest survey and other information.



U-3173-07-1

2201 Pershing Drive, portion of N. Barton Street

RPC #18-038-002



 Case Location

Note: These maps are for property location assistance only.
They may not represent the latest survey and other information.