



## ARLINGTON COUNTY, VIRGINIA

### County Board Agenda Item Meeting of October 15, 2011

**DATE:** October 4, 2011

**SUBJECT:** SP #280 SITE PLAN AMENDMENT for a comprehensive sign plan for one (1) sign (facing a “C-3” zoned area) located at 2800 10th St. N. (Dr. Joaquin Pérez-Febles) (RPC# 18-031-004)

**Applicant:**

Dr. Joaquín Pérez-Febles  
2800 10th St. N.  
Arlington, Virginia 22201

**C. M. RECOMMENDATION:**

Adopt the attached ordinance to approve a site plan amendment to SP #280 for a comprehensive sign plan for one (1) sign (facing a “C-3” zoned area) for Dr. Joaquín Pérez-Febles, subject to the proposed conditions of the ordinance applicable only to this site plan amendment.

**ISSUES:** This is a site plan amendment request for a comprehensive sign plan for one (1) sign (facing a “C-3” zoned area). No issues have been identified.

**SUMMARY:** The applicant is requesting a site plan amendment for a comprehensive sign plan for one (1) 16 sq. ft. illuminated box sign facing the parking lot on the subject site, which is located on the west side of the building. A modification of the sign ordinance is needed to allow for a building wall sign identifying the medical/dental office use within the residentially zoned property. The proposed sign will not create an adverse visual impact on the surrounding area. Staff believes this is a reasonable request for building wall signage because it follows the intent of the Arlington County Zoning Ordinance (ACZO) with regards to building identification and sign area. The site plan amendment request also conforms to the guiding principles of the *Sign Guidelines for Site Plan Buildings* especially with regards to specifications for “Building or Project Identification Signs”. Furthermore, proposed Condition #33 requires the applicant to install an appropriate variable resistor that will allow adjustment of the building wall sign’s lighting intensity. The condition also allows the County Manager authority to reduce the intensity of the lights should it be found that the lighting has an adverse effect on the surrounding area. Therefore, staff recommends that the County Board adopt the attached ordinance to

County Manager: *BMD/GA*

County Attorney: *[Signature]* *[Signature]*

Staff: Marco Antonio Rivero, DCPHD, Planning Division

PLA-6015

3.

approve a site plan amendment to SP #280 for a comprehensive sign plan for one (1) sign (facing a “C-3” zoned area) for Dr. Joaquín Pérez-Febles, subject to the proposed conditions of the ordinance applicable only to this site plan amendment.

**BACKGROUND:** On March 5, 1988 the County Board approved the subject site plan for a two-story medical/dental office building. It was extended several times due to previous economic circumstances that delayed the construction of the approved medical/office building. The medical/dental office building has since been constructed and a Master Certificate of Occupancy was issued in July 2007. The proposed site plan amendment application for a comprehensive sign plan was deferred once in September 2011 at the applicant’s request in order to revise the application and corresponding materials.

**The following provides additional information about the site and location:**

Site: The site is approximately 7,916 square feet, bounded by North Edgewood Street, 10<sup>th</sup> Street North, Washington Boulevard, and single family homes.

- To the north: Storage USA self-storage facility with ground floor retail (U-2969-99-1), zoned “C-TH” and designated “Service Commercial” on the GLUP, as well as single family residences zoned “R-5”, and designated “Low” Residential (1-10 units/acre) on the GLUP.
- To the east: Single-family detached homes zoned “R-5”, and designated “Low” Residential (1-10 units/acre) on the GLUP.
- To the south: Single-family detached homes zoned “R-5”, and designated “Low” Residential (1-10 units/acre) on the GLUP.
- To the west: Vehicle Service Establishment (Shell Gas Station) zoned “C-3” and designated “Service Commercial” on the GLUP.

Zoning: “R-5” One-Family, Restricted Two-Family Dwelling Districts.

General Land Use Plan: “Service Commercial” (Personal and business services. Generally one to four stories. A maximum 1.5 F.A.R.).

Neighborhood: The site is located within the boundaries of the Lyon Park Citizens Association area and is adjacent to the Clarendon-Courthouse Civic Association. Both the Lyon Park Citizens Association and the Clarendon-Courthouse Civic Association have no objections to the proposed site plan amendment.

**DISCUSSION:** The property is located on a transitional site that is directly adjacent to the “C-3” Zoning District. A vehicle service establishment is located contiguous to the parking lot of the medical/dental office building. Since September 2011, the applicant revised their application reducing their sign total from two (2) signs to one (1) 16 sq. ft. illuminated box sign facing the parking lot of the building, which is located on the west side of the building. The sign will be illuminated only during hours of operation, specifically from dusk to 9 p.m. at which time both practices are closed. The property contains standardized directional signage existing on the property since the construction of the building. The applicant is requesting a modification of the

sign ordinance to allow for a building wall sign identifying the medical/dental office use within the residentially zoned property. Specifications for the building wall sign are as follows:

	Dimensions	Total Sign Area	Sign Box Side Projection	Section of Arlington County Zoning Ordinance (ACZO) Affected	Zoning District
Proposed Wall Sign:	2 ft x 8 ft	16 sq. ft.	0.66 ft	34.F.3.	"R-5"

The applicant requests that an illuminated, building wall sign be allowed on the property identifying the medical specialties, names and telephone numbers of the practitioners located within the building. Staff believes this is a reasonable request for building wall signage because it follows the intent of the ACZO with regards to building identification and sign area. The ACZO Section 34.F.3 allows one (1) building name sign that may be displayed for buildings permitted in the "R" and "RA" Districts, other than one- and two-family and townhouse dwellings, to be computed on the basis of one-quarter (1/4) square foot per dwelling unit, with a maximum sign area for any permitted building of twenty-four (24) square feet. The proposed building wall sign would be less than the maximum permitted sign area for the zoning district.

The proposed comprehensive sign plan also conforms to the guiding principles of the *Sign Guidelines for Site Plan Buildings* especially with regards to specifications for "Building or Project Identification Signs". The guidelines state that the sign should be legible and easily distinguished at the approach to the building and should serve to guide and orient pedestrian and vehicular traffic going to the site. The sign will be seen primarily by vehicular traffic and pedestrians traveling on 10<sup>th</sup> Street North heading eastbound towards Arlington Boulevard (Route 50). The sign will be facing the building's parking lot which is adjacent to a vehicle service establishment, and should not create an adverse visual impact on the surrounding residential neighborhoods.

The applicant has agreed to all proposed conditions of the site plan amendment. Specifically, proposed Condition #33 requires the applicant to install an appropriate variable resistor that will allow adjustment of the building wall sign's lighting intensity. The condition also allows the County Manager authority to reduce the intensity of the lights should it be found that the lighting has an adverse effect on the surrounding area.

**CONCLUSION:** The proposed site plan amendment request for a comprehensive sign plan is consistent with the intent of the regulations specified in the ACZO and the *Sign Guidelines for Site Plan Buildings*. Proposed Conditions #31, 32, and 33 will regulate the appearance, hours of operation for sign illumination, and the light intensity for the proposed building wall sign. Both the Lyon Park Citizens Association and the Clarendon-Courthouse Civic Association have no objections to the proposed site plan amendment. Therefore, staff recommends that the County Board adopt the attached ordinance to approve a site plan amendment to SP #280 for a comprehensive sign plan for one (1) sign (facing a "C-3" zoned area) for Dr. Joaquín Pérez-Febles, subject to the proposed conditions of the ordinance applicable only to this site plan amendment.

## **Site Plan Amendment Ordinance**

WHEREAS, an application for a Site Plan Amendment revised August 24, 2011, for Site Plan #280 was filed with the Office of the Zoning Administrator: and

WHEREAS, as indicated in Staff Report[s] provided to the County Board for its October 15, 2011 meeting, and through comments made at the public hearing before the County Board, the County Manager recommends that the County Board approve the Site Plan Amendment subject to all previous conditions and new or revised conditions; and

WHEREAS, the County Board held a duly-advertised public hearing on that Site Plan Amendment on October 15, 2011 and finds, based on thorough consideration of the public testimony and all materials presented to it and/or on file in the Office of the Zoning Administrator, that the improvements and/or development proposed by the Site Plan as amended:

- Substantially complies with the character of master plans, officially approved neighborhood or area development plans, and with the uses permitted and use regulations of the district as set forth in the Zoning Ordinance.
- Functionally relates to other structures permitted in the district and will not be injurious or detrimental to the property or improvements in the neighborhood; and
- Is so designed and located that the public health, safety and welfare will be promoted and protected.

NOW THEREFORE, BE IT ORDAINED that, as requested by an application revised August 24, 2011, for Site Plan #280, and as such application has been modified, revised, or amended to include the drawings, documents, conditions and other elements on file in the office of Zoning Administration (which drawings are hereafter collectively referred to as “Revised Site Plan Application”), for a Site Plan Amendment for a comprehensive sign plan for one (1) sign (facing a “C-3” zoned area) known as RPC# 18-031-004, at 2800 10<sup>th</sup> St. N., approval is granted and the parcel so described shall be used according to the Revised Site Plan Application, subject to all previously approved conditions (numbers 1 through 30 but not including numbers 6 and 7) with new condition numbers 31 through 33 as follows:

### New Conditions (Comprehensive Sign Plan):

31. The applicant agrees that the building wall sign shall be limited to the location and same sign area as shown on the drawings prepared by I.D. Graphic Signs submitted on August 30, 2011 and approved by the County Board on October 15, 2011. The total area of the building wall sign shall not exceed 16 square feet.
32. The applicant agrees that illumination of the building wall sign shall be restricted to Mondays through Fridays, from dusk to 9:00 p.m.
33. The applicant agrees to install a rheostat or other appropriate variable resistor that will allow the applicant to adjust (decrease) the building wall sign’s lighting intensity. The

applicant further agrees that if the County Manager finds that the intensity of the building wall sign's lighting has an adverse effect on the surrounding area, the applicant will, within 24 hours notice from the County Manager, reduce the intensity of the lights to a level that, in the County Manager's reasonable judgment, will no longer have such an adverse effect.

PREVIOUS COUNTY BOARD ACTIONS:

- March 5, 1988 Approved a site plan (SP #280) for a medium office building with 3,400 square feet of gross floor area, (revised to 2,946 square feet), on a transitional site, to house two dental practices.
- April 6, 1991 Approved a site plan amendment (SP #280) to amend Condition #12 to allow two (2) dental practices or a combination of one (1) dental practice and a medical practice and Condition #15 to extend the site plan to March 1994.
- July 11, 1992 Deferred to August 8, 1992 site plan amendment (SP #280) to modify site coverage and Condition #16 regarding street setbacks.
- August 8, 1992 Approved a site plan amendment (SP #280) to delete Conditions #6 and 7; modify Conditions #12, #16, #26 and to include new Condition #30.
- July 9, 1994 Approved a site plan amendment (SP #280) to reinstate the expired site plan until July 9, 1997 and to update conditions relating to the March 29, 1994 drawings and to transformer/utilities for the subject property subject to all previous conditions and an amended Condition #21.
- July 19, 1997 Approved a site plan amendment (SP #280) to extend the approval for a medical/office building for three (3) years subject to all previous conditions (July 2000).
- May 20, 2000 Approved a site plan amendment (SP #280) to amend Condition #15 extending the approval for a medical/office building for three (3) years and subject to all previous conditions (July 2003).
- April 26, 2003 Approved a site plan amendment (SP #280) to amend Condition #15 extending the approval for a medical/office building for one (1) year and subject to all previous conditions (April 2004).
- September 17, 2011 Deferred a site plan amendment (SP #280) for a comprehensive sign plan for two (2) signs located at 2800 10<sup>th</sup> St N to the October 15, 2011 County Board meeting.

Existing Conditions:

1. The developer shall submit a detailed final site development and landscaping plan at a scale no larger than 1/16 inch = 1 foot to be approved by the County Manager or his designee prior to the issuance of any applicable permits. On large scale projects, the developer may request to submit a landscape plan at a scale of 1 inch = 25 feet; however, more detailed plans appropriate to landscape installation may be required at a scale no larger than 1/16 inch = 1 foot. This plan shall be similar to the plan approved by the County Board. Minor changes in building, street and driveway locations and other details of design as necessitated by more detailed planning and engineering studies shall be permitted if such changes do not affect the intent of the site plan approval. The landscape plan shall be accompanied by the site engineering plan and no approvals will be granted until the landscape plan and the site engineering plan agree. The site development and landscaping plan shall include the following details:
  - a. The location and dimensions of utility meters, utility vaults and boxes, mechanical equipment, fire hydrants or standpipes, storm water detention facilities, and all easements;
  - b. The location, dimensions and materials for driveways, driveway aprons, parking areas, interior walkways and sidewalks, as well as for address indicator signs;
  - c. The location and types of light fixtures for streets and parking and walkway areas;
  - d. Topography at two foot intervals;
  - e. Landscaping for plaza areas, raised planters, surface parking areas and all common areas, including a listing of plant materials showing details of planting, irrigation and drainage;
  - f. The location and details for street tree plantings in accordance with County policy for planting in public right of ways and as shown on the approved engineering plan; and
  - g. A tree protection plan shall be filed for any trees proposed to be saved by the developer or required to be saved by the County Board. The tree protection plan shall be filed in conjunction with the landscape plan at a scale of 1 inch = 16 feet and shall be approved by the County Manager or his designee prior to the issuance of a clearing, grading or excavation permit. At a minimum, this plan shall include:
    - (1) A site grading plan at two foot intervals, including the location of all proposed improvements and utilities;
    - (2) Detailed specifications for any tree walls or wells, if proposed;
    - (3) A description of how and where building materials and equipment will be stored during construction to ensure that no compaction occurs within the dripline of the trees to be saved; and
    - (4) Identification of tree protection measures and delineation of placement of tree protection.
2. Landscaping shall conform to Administrative Regulation 4.3 and to the following requirements:

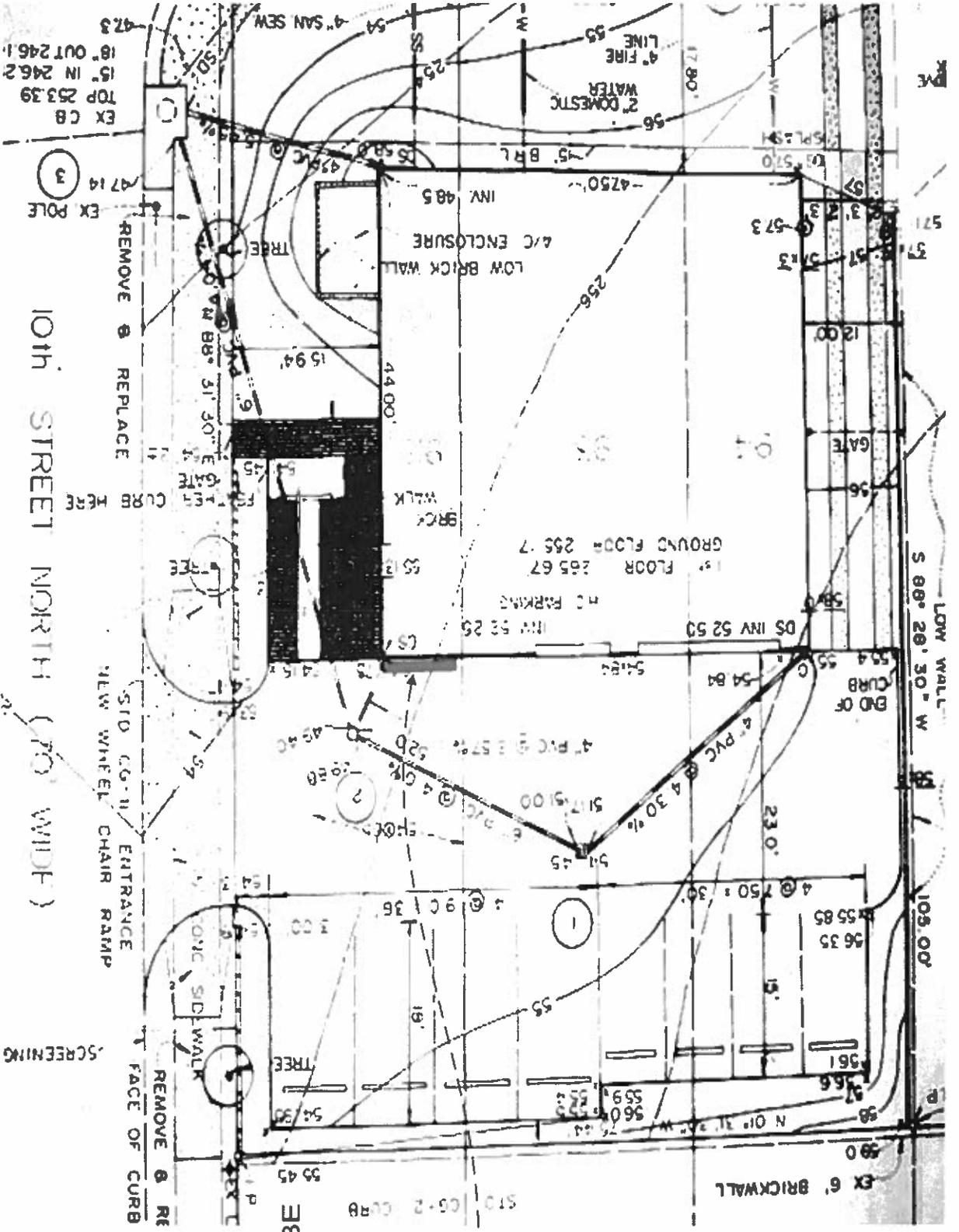
- a. Planting materials shall be of good nursery stock and guaranteed by the developer for one year following approval of the master certificate of occupancy;
  - b. Plant materials and landscaping shall adhere to American Standard for Nursery Stock Z50.1-73 and shall meet the following standards:
    - (1) Major deciduous trees - a height of 12 to 18 feet with a minimum caliper of 2 1/2 inches to 3 inches.
    - (2) Evergreen trees - a minimum height of 8 to 10 feet.
    - (3) Ornamental trees - a height of 10 to 14 feet with a minimum caliper of 1 1/2 inches to 2 inches.
    - (4) Shrubs - a minimum spread of 18 inches to 24 inches.
  - c. All new lawn areas shall be sodded; however, if judged appropriate by the County Manager or his designee, seeding may be substituted for sod;
  - d. Exposed earth not to be sodded or seeded shall be well mulched or planted in ground cover. Areas to be mulched may not exceed the normal limits of a planting bed;
  - e. Soil depth shall be a minimum of four feet for trees and tall shrubs and three feet for major shrubs. This shall also apply to those trees and shrubs in raised planters; and
  - f. Finished grades, except for existing grades, shall not exceed a slope of three to one.
3. A surety agreement with the Department of Public Works for the construction of all facilities within public right of way shall be executed prior to the issuance of any building permits.
  4. The developer shall remove and replace to Arlington County and Virginia Department of Transportation (VDOT) standards and specifications any damaged curb, gutter and sidewalk along the frontages of this site.
  5. The developer shall remove the existing entrance at the west property line and install a new VDOT standard entrance to serve this site on 10th Street North. This entrance location is subject to permit approval by the VDOT. Should access to 10th Street North be rejected by the VDOT, all entrances will be provided on North Edgewood Street at locations as determined by the Department of Public Works.
  - ~~6. The developer shall pay the capital cost for the installation of Arlington County standard TC-100 street lights along the North Edgewood Street frontage of this site. The lighting needs will be reviewed with the adjacent residents prior to any decision on lighting installation. **Condition deleted by the County Board on August 8, 1992.**~~
  - ~~7. The developer shall pay the capital cost for the installation of Arlington County standard thoroughfare street lighting along the 10th Street North frontages of this site. The lighting needs will be reviewed with the adjacent residents prior to any decision on lighting installation. **Condition deleted by the County Board on August 8, 1992.**~~
  8. The water meter installations shall be located behind and adjacent to the curblin in an area clear of driveways, other utilities by a minimum of five feet and structures by a

minimum of 10 feet. A clear space of 15 feet wide by 25 feet long by 10 feet deep shall be provided for any water meter installation three inches and larger.

9. Final engineering plans, including a street tree plan, shall be approved by the Department of Public Works prior to the issuance of a building permit. The plan shall be at a scale of 1 inch = 25 feet and be 24 inches by 36 inches in size.
10. The developer shall dedicate all required easements prior to the issuance of a building permit.
11. Parking shall be restricted so that parking for staff and visitors would be on-site with no spillover on North Edgewood Street. On-site parking shall be given patient priority, with a maximum of six spaces allowed for staff. Additional parking for staff shall be provided in another off-street parking area when necessary to provide parking for employees who drive to work.
12.
  - A. Occupancy of the site, if developed per plans dated February 15, 1988, and as approved by the County Board on March 5, 1988, including modifications administratively approved on November 8, 1988, shall be limited to two (2) dental practices or a combination of one (1) dental practice and a physician practice with no more than 10 persons employed at any one (1) time, unless otherwise approved by the County Board.
  - B. Occupancy of the site, if developed per final plans submitted for this site plan amendment dated June 19, 1992, shall be limited to one (1) dental practice with no more than eight (8) persons employed to provide dental and/or medical services at any one (1) time, unless otherwise approved by the County Board.
13. Minor changes in the design in the building and site proposed by the plan dated February 15, 1988, as approved by the County Board on March 5, 1988, shall be subject to approval of the County Manager or his designee. Proposed minor changes of bulk, placement, or exterior building features shall be submitted to the citizens' associations for the areas represented by the Lyon Park and Courtlands Civic Associations for review and comment before approval by the County Manager or his designee. If the County Manager or his designee determines that that proposed changes are not consistent with the provisions of Section 9.2.b. of the Zoning Ordinance or with the approved site plan, a site plan amendment shall be required.
14. The site shall be maintained in a manner consistent with all local ordinances and requirements. Any lighting on the site shall be shielded so that it is not directed toward adjacent residential properties.
15. This site plan approval expires April 26, 2004, if the approved plan is not under construction. Extension of this approval shall be at the sole discretion of the County Board.

16. The structure shall be set back an additional 3.5 feet (19.3 foot total) from North Edgewood Street, or 17.8 feet if the alternative plans dated June 19, 1992 are developed. A final site plan showing the setback, parking spaces, and maneuvering space shall be approved by the County Manager or his designee prior to issuance of a building permit. This plan shall not result in a loss of parking spaces or a reduction in adequate maneuvering space.
17. All exterior trash receptacles shall not be visible from either North Edgewood Street or 10th Street North and shall be properly screened. Location and screening of trash facilities shall be approved as part of the final landscape plan.
18. The developer shall comply with the standard conditions set forth in Administrative Regulation 4.1. For the purposes of interpreting these conditions, the various details set forth in the plans dated February 15, 1988, and revised plans dated February 28, 1988, as reviewed and approved by the County Board on March 5, 1988, shall be used.
19. The developer shall produce a photographic record of development commencing with a record of the site as it appears before demolition is begun, including photographic records during construction, and ending with a photographic record of the development as it appears after completion of construction. These photographs shall comply with the requirements set forth in Administrative Regulation 4.1. The photographic record of the site as it appears before demolition shall be delivered to the Zoning Administrator prior to the issuance of a demolition permit. The remaining records shall be delivered to the Zoning Administrator prior to the issuance of a master certificate of occupancy for placement in the County archives.
20. All utility companies, including the electric, telephone and cable television companies, shall be contacted by the developer and offered access at the time of utility installation to install their underground cables.
21. Electrical service to the building shall be provided underground and the design shall facilitate the future installation of a pad-mounted transformer. The applicant shall dedicate an easement of sufficient size to accommodate an appropriate transformer in an area adjacent to the proposed air conditioning unit fronting North 10th Street, or such other location as may be approved by the County Manager, to the County prior to issuance of the first Building Permit for the future relocation of an electrical transformer to serve the building. Should the County initiate an undergrounding project along North 10th Street and adjacent to the subject site, the applicant shall grant access to the site for the installation of a pad-mounted transfer.
22. The location of underground structures, utilities, and utility vaults shall not interfere with the appropriate spacing of street trees. Whenever possible, underground utilities shall not be placed in the planting strip.
23. All sanitary sewers and water mains, including water services, shall have a minimum of five (5) feet horizontal clearance from each other and from all other utilities, and a minimum of 10 feet horizontal clearance from buildings and other structures.

24. No existing water main or fire hydrant shall be taken out of service or made inaccessible without approval by the Department of Public Works of a schedule which allows for replacement services.
25. Mechanical equipment, including electrical transformers, shall be located, screened, and/or landscaped so as not to be visible from public rights-of-way.
26. Privacy walls or screening shall be constructed of durable materials such as brick, cedar, redwood, or pressure treated timber as approved by the County Manager or his designee on the final site development and landscape plan. If wood is used, it shall be maintained in good order. All privacy walls adjacent to the public right-of-way shall be constructed of brick and shall be a height of four (4) feet above the adjacent sidewalk.
27. Parking on-site, or on a suitable off-site location, shall be provided for all construction workers without charge to the workers.
28. All applicable ordinances and local regulations shall be followed and all state permits which state agencies determine to be necessary shall be obtained by the developer.
29. Three (3) copies of a site plan which complies with the final approval of the County Board and with Administrative Regulation 4.1 shall be filed with the Zoning Administrator prior to the issuance of any permit.
30. The site shall be developed with two (2) dental/medical offices per final plans dated February 15, 1988, and approved by the County Board on March 5, 1988, including modifications administratively approved on November 8, 1988, or, as an alternative, according to the final plans submitted for this site plan amendment dated June 29, 1992.



10th STREET NORTH (70' WIDE)

REMOVE & REPLACE  
EX POLE

NEW WHEEL CHAIR RAMP  
ENTRANCE

REMOVE & RE  
FACE OF CURB

RIGHT SIGN BOX TO BE  
INSTALLED HERE

NOT A SCALE

EX CB  
TOP 253.39  
15" IN 246.2  
18" OUT 246.1  
47.3

3

2

1

LOW WALL  
S 88° 20' 30" W  
105.00'

EX 6' BRICKWALL

1<sup>st</sup> FLOOR 265.67  
GND FLOOR 265.7  
NO PARKING

LOW BRICK WALL  
A/C ENCLOSURE  
INV. 48.5

2" DOMESTIC  
WATER

4" FIRE  
LINE

4" SAN SEW

EX 6' BRICKWALL

OS INV 52.50

INV. 48.5

44.00'

15.94'

12.00'

LOW WALL  
S 88° 20' 30" W  
105.00'

GATE

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

57.3

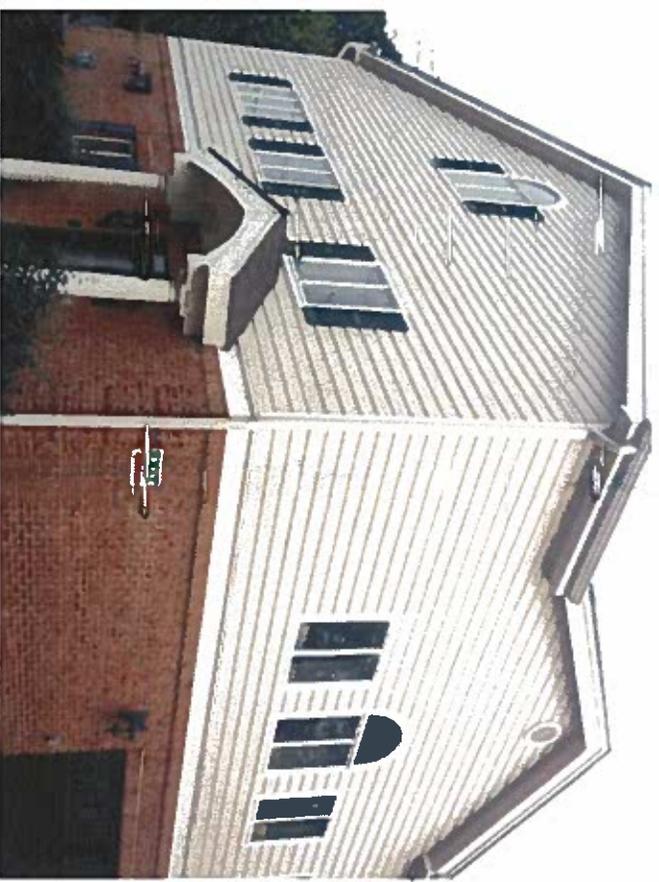
57.3

57.3



VIEW SHOW WITH SIGN BOX

SCALE: 1'8"=1'0"



VIEW SHOW EXISTED FRONT WITH ENTRANCE

**ILLUMINATED SIGN BOX AT RIGHT SIDE OF BUILDING AT 2800 N. 10th STREET ARLINGTON, VA (FACING WASHINGTON BOULEVARD).**

**ILLUMINATED SIGN BOX AT RIGHT SIDE OF BUILDING AT 2800 N. 10th STREET ARLINGTON, VA (FACING WASHINGTON BOULEVARD).**

**DESCRIPTION OF WORK:**

**MANUFACTURE AND INSTALL ONE (1) ILLUMINATED SIGN BOX WITH COPIES AND COLORS AS SHOWN ABOVE**

**MATERIALS:**

**SIGN BOX TO BE CONSTRUCTED OF .040 ALUMINUM WITH .66" DEEP X 2" HEIGHT X 8' IN LENGTH PAINTED HUNTER GREEN LIGHTING:**

**BY 2 (TWO) HORIZONTAL DAY LIGHT HIGH OUTPUT FLORESCENT LAMPS, 15 AMPS AND 350 Watts Max BALLAST, AND ONE(1)20 AMPS, 120 VOLT CIRCUIT SUPPLY SIGN IS TURN ON/OFF BY TIMING CLOCK ( TO BE SET ON AT 6 P.M. AND OFF AT 9 P.M.)**

**SIGN FACE:**

**TO BE 3/16" WHITE PLEXIGLASS WITH COMPUTER CUT HIGH PERFORMANCE DARK GREEN AND BLACK VINYL LETTERING, INSTALLATION:**

**SIGN BOX TO BE MOUNTED FLAT AGAINST WALL FASCIA USING 1/2" X 8" NON CORROSIVE ALL THREAD LAG SHIELD BOLTS ALL MATERIALS, BALLASTS AND CABINETS ARE TO BE U.L. LABELED**

**SIGN BOX DIMENSIONS ARE: 2' TALL X 8' WIDE X .66' DEEP =>16 SQ.FT.**

**BUILDING FRONT IS 44' IN LENGTH**

**Sign to be installed with the requirements of Article 600 of the NEC, this includes proper grounding and bonding of the sign UL.**



8'

.66'

**PERIODONTICS & IMPLANT DENTISTRY**  
**JOAQUIN M. PEREZ-FEBLES, D.D.S. 703-528-4484**

**CHIROPRACTIC PHYSICAL THERAPY**  
**MICHAEL MOSES D.C. 703-671-6038**

2'

FRONT

SCALE: 1"=1'0"

SIDE



**ILLUMINATED SIGN BOX AT RIGHT SIDE OF BUILDING AT 2800 N. 10th STREET ARLINGTON, VA (FACING WASHINGTON BOULEVARD).**

**DESCRIPTION OF WORK:**

MANUFACTURE AND INSTALL ONE (1) ILLUMINATED SIGN BOX WITH COPIES AND COLORS AS SHOWN ABOVE  
 MATERIALS:

SIGN BOX TO BE CONSTRUCTED OF .040 ALUMINUM WITH .66' DEEP X 2' HEIGHT X 8' IN LENGTH PAINTED HUNTER GREEN  
 LIGHTING:

BY 2 (TWO) HORIZONTAL DAY LIGHT HIGH OUTPUT FLORESCENT LAMPS 15 AMPS AND 350 Watts Max BALLAST. AND ONE(1)20 AMPS. 120 VOLT CIRCUIT SUPPLY  
 SIGN IS TURN ON/OFF BY TIMING CLOCK ( TO BE SET ON AT 6 P.M. AND OFF AT 9 P.M.)

**SIGN FACE:**

TO BE 3/16" WHITE PLEXIGLASS WITH COMPUTER CUT HIGH PERFORMANCE DARK GREEN AND BLACK VINYL LETTERING.  
 INSTALLATION:

SIGN BOX TO BE MOUNTED FLAT AGAINST WALL FASCIA USING 1/2" X 6" NON CORROSIVE ALL THREAD LAG SHIELD BOLTS  
 ALL MATERIALS, BALLASTS AND CABINETS ARE TO BE U.L. LABELED

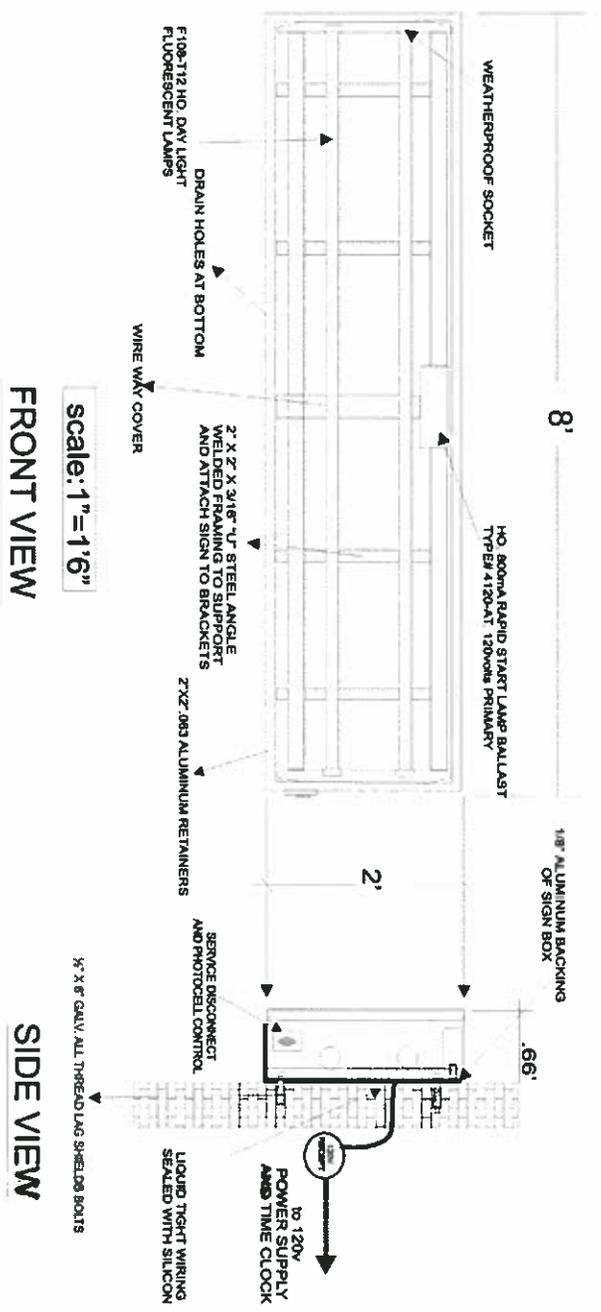
SIGN BOX DIMENSIONS ARE: 2' TALL X 8' WIDE X .66' DEEP =>16 SQ.FT.

BUILDING FRONT IS 44' IN LENGTH

Sign to be installed with the requirements of Article 600 of the NEC, this includes proper grounding and bonding of the sign UL.



**DIAGRAM OF ILLUMINATED SIGN BOX ATTACH TO WALL OF BUILDING (FACING WASHINGTON BLVD.)**  
**LOCATION: 2800 NORTH 10th STREET, ARLINGTON, VA.**



**FRONT VIEW**

**SIDE VIEW**

scale: 1"=1'6"

**ILLUMINATED SIGN BOX AT RIGHT SIDE OF BUILDING AT 2800 N. 10th STREET ARLINGTON, VA (FACING WASHINGTON BOULEVARD).**

**DESCRIPTION OF WORK:**  
 MANUFACTURE AND INSTALL ONE (1) ILLUMINATED SIGN BOX WITH COPIES AND COLORS AS SHOWN ABOVE

**MATERIALS:**  
 SIGN BOX TO BE CONSTRUCTED OF 6061 ALUMINUM WITH .66" DEEP X 2" HEIGHT X 8' IN LENGTH PAINTED HUNTER GREEN

**LIGHTING:**  
 BY 2 (TWO) HORIZONTAL DAY LIGHT HIGH OUTPUT FLORESCENT LAMPS, 15 AMPS AND 350 Watts Max BALLAST AND ONE(1) 120 AMP, 120 VOLT CIRCUIT SUPPLY  
 SIGN IS TURN ON/OFF BY TIMING CLOCK ( TO BE SET ON AT 8 P.M. AND OFF AT 9 P.M.)

**SIGN FACE:**  
 TO BE 3/16" WHITE PLEXIGLASS WITH COMPUTER CUT HIGH PERFORMANCE DARK GREEN AND BLACK VINYL LETTERING.

**INSTALLATION:**  
 SIGN BOX TO BE MOUNTED FLAT AGAINST WALL FASCIA USING 1/2" X 6" NON CORROSIVE ALL THREAD LAG SHIELD BOLTS  
 ALL MATERIALS, BALLASTS AND CABINETS ARE TO BE U.L. LABELED

**SIGN BOX DIMENSIONS ARE: 2' TALL X 8' WIDE X .66" DEEP => 16 SQ.FT.**  
**BUILDING FRONT IS 44' IN LENGTH**

Sign to be installed with the requirements of Article 600 of the NEC, this includes proper grounding and bonding of the sign UL.



## Marco Rivero

---

**From:** Kenneth Fulton <kennethgfulton@yahoo.com>  
**Sent:** Wednesday, September 21, 2011 9:36 PM  
**To:** Marco Rivero; ccca-president@yahoogroups.com  
**Cc:** jhurd@hurdit.com; ccca-president@yahoogroups.com  
**Subject:** Re: SP #280 Dr. Pérez-Febles Comprehensive Sign Plan

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

**Categories:** Red Category

Marco,

Thank you for the opportunity to comment. CCCA members have no objections to Dr. Perez's signage request.

Regards,

Ken Fulton

CCCA President

**From:** Marco Rivero <Mrivero@arlingtonva.us>

**To:** "ccca-president@yahoogroups.com" <ccca-president@yahoogroups.com>

**Cc:** "jhurd@hurdit.com" <jhurd@hurdit.com>

**Sent:** Tuesday, September 13, 2011 10:11 AM

**Subject:** [ccca-president] FW: SP #280 Dr. Pérez-Febles Comprehensive Sign Plan [1 Attachment]

[Attachment(s) from Marco Rivero included below]

Hi Ken,

This is Marco Rivero with the Arlington County Planning Office, I wanted to forward you revised drawings for SP #280, Dr. Perez's request for a comprehensive sign plan. He revised the application to reduce the sign count requested from two signs (totaling 48 sq. ft.) to one sign, illuminated (during hours of operation, mainly dusk to 9pm), at 16 sq. ft. facing the parking lot of the building (which is also facing a commercially zoned area). Please share this information with the members of your civic association and any other interested community members. I am looking forward to hearing from you should you have any questions or follow-up comments. Thank you.

Best,  
Marco

---

**From:** Marco Rivero  
**Sent:** Tuesday, September 13, 2011 10:02 AM  
**To:** larry@lrmayer.com  
**Subject:** FW: SP #280 Dr. Pérez-Febles Comprehensive Sign Plan  
**Importance:** High

Hi Larry,

I am forwarding you a copy of the revised drawings for Dr. Perez's comprehensive sign plan application. As mentioned before, he revised it to include just one illuminated sign (illuminated only during hours of operation) facing the commercially zoned area at 16 sq. ft. Please let me know if you have any further questions and looking forward to hearing back from you on Thursday after the Lyon Park CC meeting.

**Marco Rivero**

---

**From:** Elliott Mandel <edmandel@hotmail.com>  
**Sent:** Monday, October 03, 2011 2:32 PM  
**To:** Marco Rivero  
**Cc:** Lawrence R. Mayer  
**Subject:** RE: Dr. Perez Signs

**Categories:** Green Category

Dear Marco,

Thank you for your message. The Lyon Park Citizens Association has discussed the issue of the proposed signs by Dr. Perez, both on our neighborhood listserv and at one of our regular monthly meetings. There were no indications of widespread concern about the signs and we therefore have no objection to their installation.

Please don't hesitate to contact me if you have further questions or concerns.

Best,  
Elliott Mandel  
President  
Lyon Park Citizens Association  
(703)927-9101

---

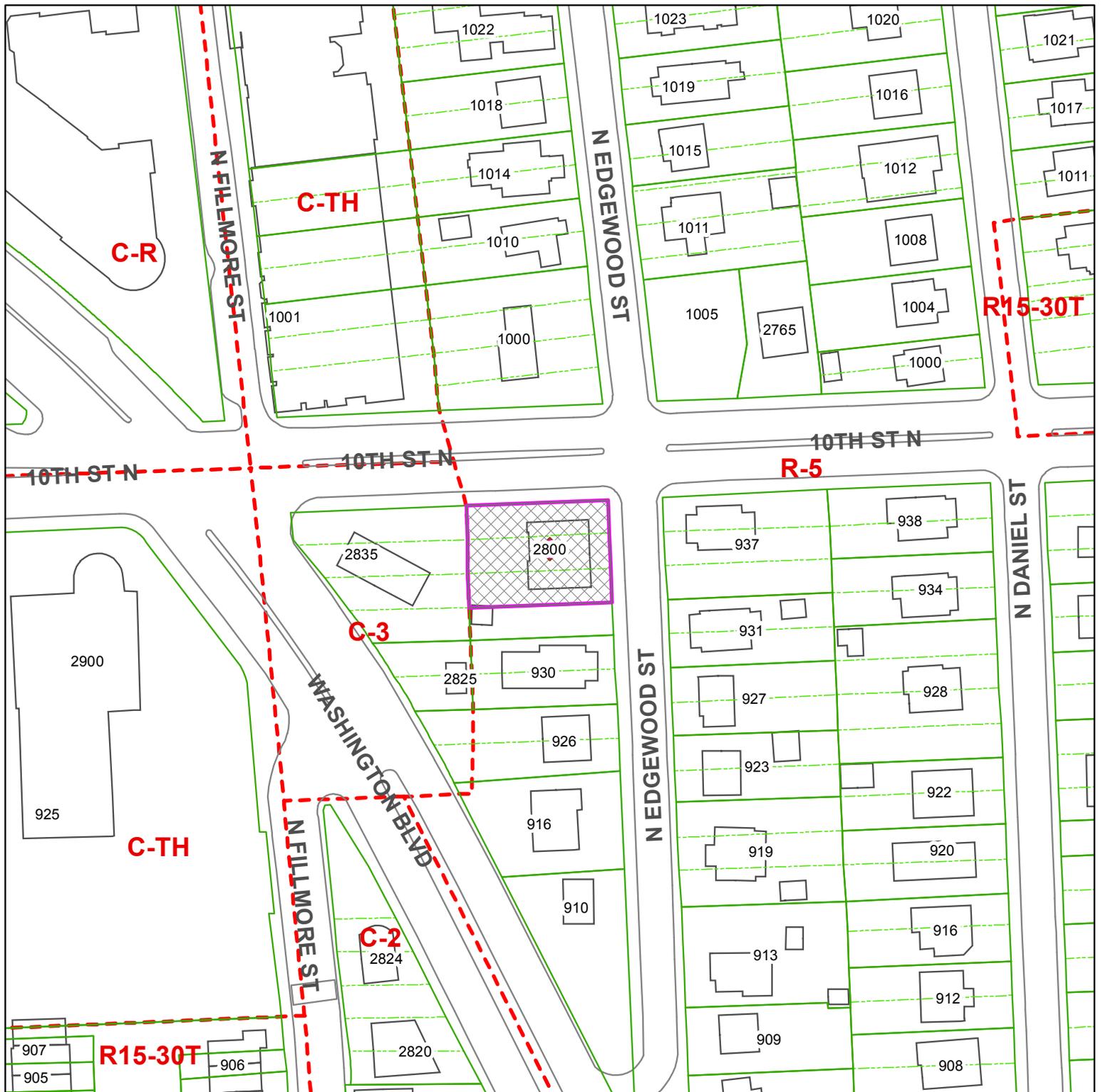
**From:** [Mrivero@arlingtonva.us](mailto:Mrivero@arlingtonva.us)  
**To:** [edmandel@hotmail.com](mailto:edmandel@hotmail.com); [larry@lrmayer.com](mailto:larry@lrmayer.com)  
**Subject:** Dr. Perez Signs  
**Date:** Fri, 30 Sep 2011 18:50:10 +0000

Hello Elliot and Larry,

I hope you are having a good day. Is there any word from the Lyon Park Citizens' Association regarding their position on Dr. Perez's proposed sign? We would greatly appreciate a formal letter or e-mail if the civic association does support his sign (or if there are no objections to his sign) so we can document it within the staff report.

Thank you!  
Marco

**Marco Antonio Rivero**  
**Planner II (Acting BZA Coordinator)**  
**DCPHD, Arlington County Government**  
2100 Clarendon Blvd, Suite 700  
Arlington, Virginia 22201  
Main: 703-228-3525  
Direct: 703-228-3572  
Fax: 703-228-3543  
[mrivero@arlingtonva.us](mailto:mrivero@arlingtonva.us)



SP# 280

2800 10th St N

RPC: 18-031-004



 Case Location(s)  
 Scale: 1:1,200

Note: These maps are for property location assistance only. They may not represent the latest survey and other information.