



ARLINGTON COUNTY, VIRGINIA

County Board Agenda Item Meeting of March 10, 2012

DATE: March 2, 2012

SUBJECT: U-3325-12-1 USE PERMIT for expansion of a community center with modifications for parking; located on a portion of the lot at 414 N. Fillmore St. (RPC# 18-050-001).

Applicant: Lyon Park Community Center

By:

William B. Lawson, Jr., Esq.
Lawson, Tarter & Charvet, P.C.
6045 Wilson Boulevard, Suite 100
Arlington, VA 22205

C.M. RECOMMENDATION:

Approve the subject use permit with modification of zoning ordinance requirements for parking, subject to the conditions of the staff report.

ISSUES: This is a request for a use permit to allow expansion of an existing community center with a modification of Zoning Ordinance requirements for parking; Neighbors immediately adjacent to the subject lot have expressed concern regarding parking, management and trash.

SUMMARY: The Lyon Park Community Center proposes to expand and renovate its community house which is located on Lyon Park. The community house, which was constructed in 1925, is listed on the National Register of Historic Places within the Lyon Park Historic District. The construction of the building predates the Zoning Ordinance and neither a use permit for this use nor parking was at that time required. As a result, the community house is legally non-conforming as to use and parking in the "R-6" zoning district, and therefore a use permit is requested to provide for the expansion of the existing facility and modification to the Zoning Ordinance requirements for parking.

County Manager:

BMD/GA

County Attorney:

CLW

GA

Staff: Samia Byrd, CPHD, Planning Division
Dolores Kinney, DES, Transportation Division

31.

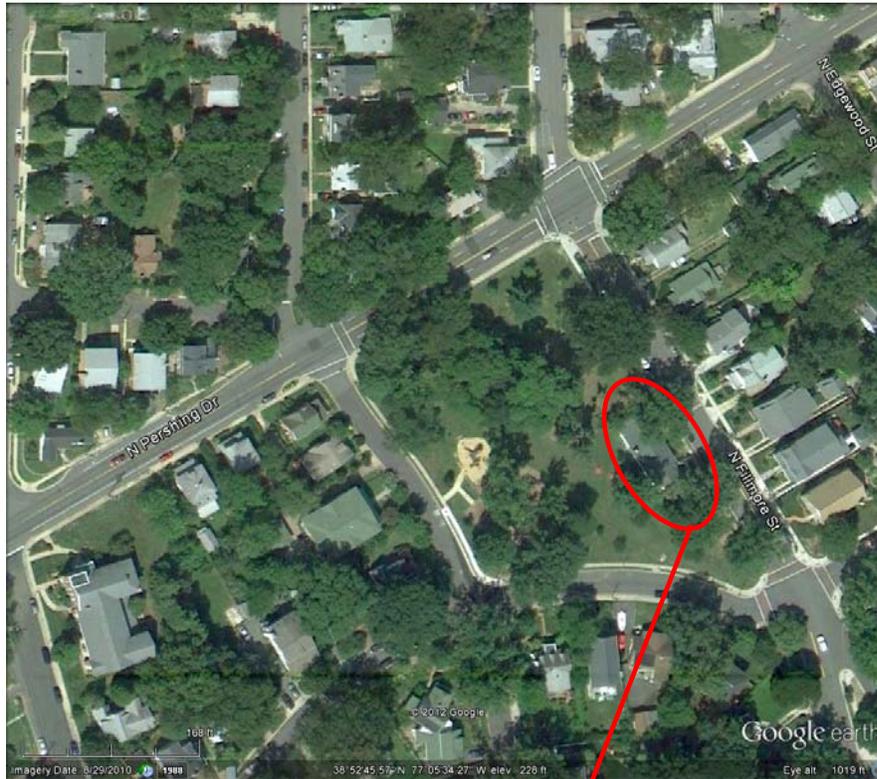
The community house, which is currently owned and operated by the Lyon Park Community Center, provides a reception hall that is rented by individuals and organizations on a regular and as-needed basis for events such as birthdays, weddings, club meetings and activities, community activities, and exercise classes. Under the subject use permit, the 2,356 square foot community house would expand by 1,076 square feet with a new and larger kitchen and a sunroom addition. It is intended that, while the footprint of the building would increase, the use and hours of operation would remain unchanged. In addition, the applicant has agreed to maintain the current maximum occupancy capacity of 150 people standing and 80 seated for rental events. There is currently no on-site parking provided with the facility and it is requested that the Zoning Ordinance parking requirements be waived with the subject use permit. If provided, a total of 51 spaces would be required to accommodate the proposed building expansion. Adjacent to and in the immediate vicinity of the park there are approximately 30 on-street parking spaces. While many users of the community house live nearby and walk, those who drive to the community house to attend events utilize the existing on-street parking spaces. Providing parking on-site would negatively impact the park which is listed on the National Register of Historic Places and has been a neighborhood and community asset since the 1920s. Staff supports not providing parking on-site to maintain the historic character of the park as a neighborhood park and minimize vehicle trips. Further staff supports the request to not provide parking because the building is expanding but not the use or capacity, and the current conditions related to parking in the neighborhood and nearby have to date been sufficient to accommodate the number of guests who drive to events. Staff however recommends and the applicant agrees, that with the proposed expansion of the community house that for events with more than 50 people, carpooling would be encouraged and a handout informing guests on the location of off-site parking and parking facilities would be reviewed and approved by the County and required to be incorporated into all rental agreements. Finally, the Lyon Park Civic Association and the Historic Affairs and Landmark Review Board support the use permit to expand and renovate the community house. Therefore, staff recommends that the County Board approve the subject use permit, subject to the conditions of the staff report.

BACKGROUND: The applicant, Lyon Park Community Center is a private 501 (c)(3) non-profit entity that owns, manages and maintains Lyon Park. In 1925, the Lyon Park Community House was constructed on the park by a group of neighbors with the property deeded to the community by the original developer, Frank Lyon. Since its initial construction, the community house has been used by neighbors and community members for such things as club meetings and activities, community activities, and exercise classes, and is also rented by individuals and groups for events and gatherings such as birthday celebrations and weddings to name a few.

Current Zoning Ordinance requirements provide that in the “R-6” zoning district, a community center is permitted by use permit. The Lyon Park Community House was constructed and used as a community center prior to the adoption of the Zoning Ordinance and is therefore a legal non-conforming use. It further is non-conforming as to parking. With the proposed expansion of the community house a use permit is required.

The following provides additional information about the site and location:

Site: Located in the Lyon Park neighborhood, the subject 99,000 square foot lot is bounded by N. Pershing Drive to the north, N. Fillmore Street to the east, 4th Street North to the south and N. Garfield Street to the west. The site is within the Lyon Park Historic District and is listed on the National Register of Historic Places. It is currently developed and used as an active neighborhood park with a 2,360 square foot community house located in its southeast corner fronting on N. Fillmore Street, and a playground in the southwest corner. The existing community house is listed as a contributing property on the National Register within the historic district.



Lyon Park Community House located within Lyon Park

Zoning: “R-6” One-Family Dwelling Districts.

Land Use: Semi-Public. Country Clubs and semi-public recreational facilities. Churches, private schools and public cemeteries (predominant use of the block).

Neighborhood: The site is located within the Lyon Park Citizens Association. The Lyon Park Citizens Association supports the subject use permit request (see attached letter). Immediate neighbors have expressed concern regarding parking, management of events, and trash at the community house.

DISCUSSION: Under the proposed use permit, the community house would be renovated and expanded increasing the building footprint from approximately 2,360 square feet to approximately 3,436 square feet. The area of disturbance associated with the community house expansion and renovation is approximately 4,833 square feet. The expansion would provide for the replacement of the existing kitchen on the south elevation and the addition of a sunroom the length of the building on the west elevation adjacent to the park. Renovations would include modernizing the interior of the building and also providing handicap accessible bathrooms. The proposed renovation and expansion of the community house was the result of a community design process which culminated in 2009 with a day-long design workshop. The proposed design was discussed at the Historic Affairs and Landmark Review Board (HALRB) at its meeting on February 15, 2012, and has been reviewed by Historic Preservation staff. The design has received the support of the HALRB (see attached letter).

With the proposed expansion and interior renovation of the community house, the primary function and use as it has existed since 1925 would remain unchanged, as would the hours of operation. Currently the community house is available for events, meetings and gatherings from 8:00 am to 10:00 pm; with a window of 10:00 pm to 11:00 pm for renters to clean up and vacate the premises after an event. Currently, on average, 51 people utilize the facility on a daily basis. The average event size is 36 participants. From January 2009 through June 2011, the average monthly attendance at events for which the facility was reserved was 1,000 people. During this same period, the breakdown for use of the community house was as follows:

- Clubs – 44% (548 events)
- Exercise – 19% (234 events)
- Community – 13% (170 events)
- Private – 11% (135 events)
- Birthdays – 9% (114 events)
- Weddings – 2% (26 events)
- Picnics – 1% (17 events)
- Baby Related – 1% (9 events)

Currently, the maximum occupancy capacity is 150 people if standing and 80 if seated when the facility is rented for private events. Based on its current size of 2,630 square feet and with the proposed expansion, there would be an increase of approximately 1,076 square feet of gross floor area. This would permit a maximum occupancy capacity of 334 people standing (no tables and chairs) for all events and activities at the community house. The applicant has agreed to limit the maximum occupancy capacity to 260 persons for all spaces within the building and to maintain its current capacity for events by rental at 150 persons (80 seated).

Finally, there is a policy in effect, that was implemented and is enforced by the Lyon Park Community Center Board of Governors. That policy prohibits the use of amplified music inside the community house (unless by rental agreement and as approved by the Board of Governors) or on the grounds of the community center. When amplified music is permitted, doors and windows are to remain closed and music is not to be heard outside. Parties are required to remain inside the building and avoid congregating outside entrance doors or along streets or sidewalks. With the subject use permit request, the applicant has agreed to a condition requiring

this policy be maintained and implemented for the life of the use permit. The applicant further proposes, with the building renovation and expansion, to build into the design, soundproofing that would address acoustics. Such measures may include specifying sound absorbing drywall at all suitable areas in the main hall, building a proscenium with high sound absorbing treatments in surfaces that will be hidden from view, or treatment of fenestration and provision of mountings for fabric or acoustic panel coverings that further absorb sound and reverberations.

Parking: Section 33 of the Zoning Ordinance requires 1 space per 50 square feet of floor area for auditoriums, multipurpose rooms, gymnasium or other facilities used for public assembly but having no fixed seating arrangement specified. The community house as previously stated was built in the 1920s which predates the Zoning Ordinance at which time no parking was required and none was provided. Further, the use permit application proposes no parking with the expansion of the community house.

If parking was to be provided for the existing building, approximately 38 spaces would be required. With the proposed expansion, an additional 13 spaces would be required. This would result in a total of 51 required on-site parking spaces. Currently there are no spaces on site, and approximately 30 parking spaces available on-street in the vicinity of the site. The average number of people who attend events, meetings or activities at the community house on a daily basis is approximately 51. While the proposed use of the community house is not changing with the expansion, the capacity of the building would increase for all spaces in the building allowing for more users and the potential occurrence of an increase in simultaneous events. However, the applicant agrees to maintain the current maximum occupancy capacity as it is today. Thus, the building is expanding but not the use or capacity. Staff supports not providing parking on-site in this regard, because the on-street parking based on the use, capacity and number of events today has to date been sufficient to accommodate the number of guests who drive to events. Further, adding on-site parking would deteriorate and adversely impact the historic nature and character of the park. Staff does however; recommend that parking be managed for large events. Specifically, staff recommends that the applicant develop and provide a parking information handout with all rental agreements that informs event guests on the location of off-site parking and further encourages carpooling for events with more than 50 people, in order to mitigate any impacts to the neighborhood.

CONCLUSION: The Lyon Park Community Center is a historic community asset that predates the Zoning Ordinance. It has served the neighborhood and community for some 87 years. The proposed renovation to modernize and expand the facility, would allow the Lyon Park Community Center to continue offering services in an improved venue for community and neighborhood events and functions. To mitigate the impacts of the building expansion and no proposed parking, the applicant agrees to limit the capacity to less than what would be permitted with the size of the expanded building, and further maintain its current hours of operation, use in terms of scale and type of events, and good neighbor policy to not permit amplified music by way of incorporating them into conditions of the subject use permit. The lack of on-site parking through the use permit would be mitigated by the provision of a parking information handout that the applicant will be required to incorporate as part of all rental agreements for the use of the Community House. This would include a map of adjacent streets where on-street parking and parking facilities is available and encouraging the use of carpooling for events where attendance is greater than 50 people. The proposed conditions would mitigate the adverse impacts that may

be caused on the neighborhood or adjacent properties as it relates to parking and event management. Therefore, staff recommends that the County Board approve the subject use permit, subject to the following conditions.

Conditions:

1. The applicant (applicant, as used herein shall include the owner, the applicant, the developer, and all successors and assigns) agrees that the expansion and renovation of the Lyon Park Community House shall be as shown on the drawings submitted by Lyon Park Community Center and prepared by Laboratory for Architecture and Building (LAB) dated February 15, 2012 (the Plan), and reviewed and approved by the County Board and made a part of the public record on March 10, 2012 including all renderings, drawings, and presentation boards presented during public hearings, together with any modifications proposed by the applicant and accepted by the County Board or vice versa.

Minor revisions may be made to the proposed structures due to final design and engineering. Any such minor revisions shall be approved by the Zoning Administrator if she finds that they are consistent with the intent of the approval of this use permit as set forth in the staff review.

2. The applicant agrees that events and activities at the Lyon Park Community House shall occur only between the hours of 8:00 am and 10:00 pm; the premises shall be vacated by 11:00 pm for all events, with the hour between 10 and 11 pm used only for clean-up. The applicant further agrees that the maximum occupancy capacity of the community house for all spaces within the building shall not exceed 260 persons and that for rental events, the maximum capacity shall be 150 people standing (80 seated).
3. The applicant agrees to develop and obtain approval, as set forth below, of a parking information handout to be incorporated as part of the rental agreement for use at the Lyon Park Community House. These materials will include a map of adjacent streets and parking facilities, if any, where off-site parking is available for use by event attendees, and urge renters to promote carpooling where possible. Renters hosting events with expected attendance of over 50 people will be expected to provide this handout in electronic form or by other means to those invited to the event. A copy of the handout shall be submitted to the Zoning Administrator, and reviewed and approved by the County Manager or designee, prior to the issuance of any Building Permit for an addition to the Lyon Park Community House. The handout shall also be posted in the Community House. The applicant agrees to implement the Parking Information process for the life of the use permit.
4. The applicant agrees to designate a community liaison to coordinate with nearby residents and neighbors to address concerns that may be related to parties and events held at the community house. The name and telephone number of the liaison shall be submitted by the applicant to the Zoning Administrator, the Lyon Park Citizens

Association, and provided in writing to residents whose property abuts the site, before issuance of the first Certificate of Occupancy for the new space.

5. The applicant agrees that except by rental agreement, there shall be no amplified music either inside (including the sunroom addition and landing areas) or on the grounds of the community house. When amplified music is permitted by rental agreement, doors and windows to the community house shall remain closed and the music shall not be heard outside of the community center, except that doors may be opened for ingress and egress and other intermittent uses.
6. The applicant agrees to fully screen the trash enclosures shown on the Plan with shrubs or other suitable vegetation. The proposed screening shall be shown on, and approved as part of a landscape plan. Screening shall be installed prior to issuance of the first Certificate of Occupancy for the new space.

PREVIOUS COUNTY BOARD ACTIONS:

January 21, 2012

Authorized advertisement “On The County Board’s Own Motion” of a public hearing by the County Board on March 10, 2012 for a proposed special exception use permit in the public interest for an addition to a community building located at 414 and 420 North Fillmore Street (Lyon Park Community Center).

Lyon Park Community House

414 North Fillmore Street
Arlington VA 22201-1622

Architect

Laboratory for Architecture & Building, Inc.
2300 9th Street South, Suite M1
Arlington, VA 22204-2300

Structural Engineer

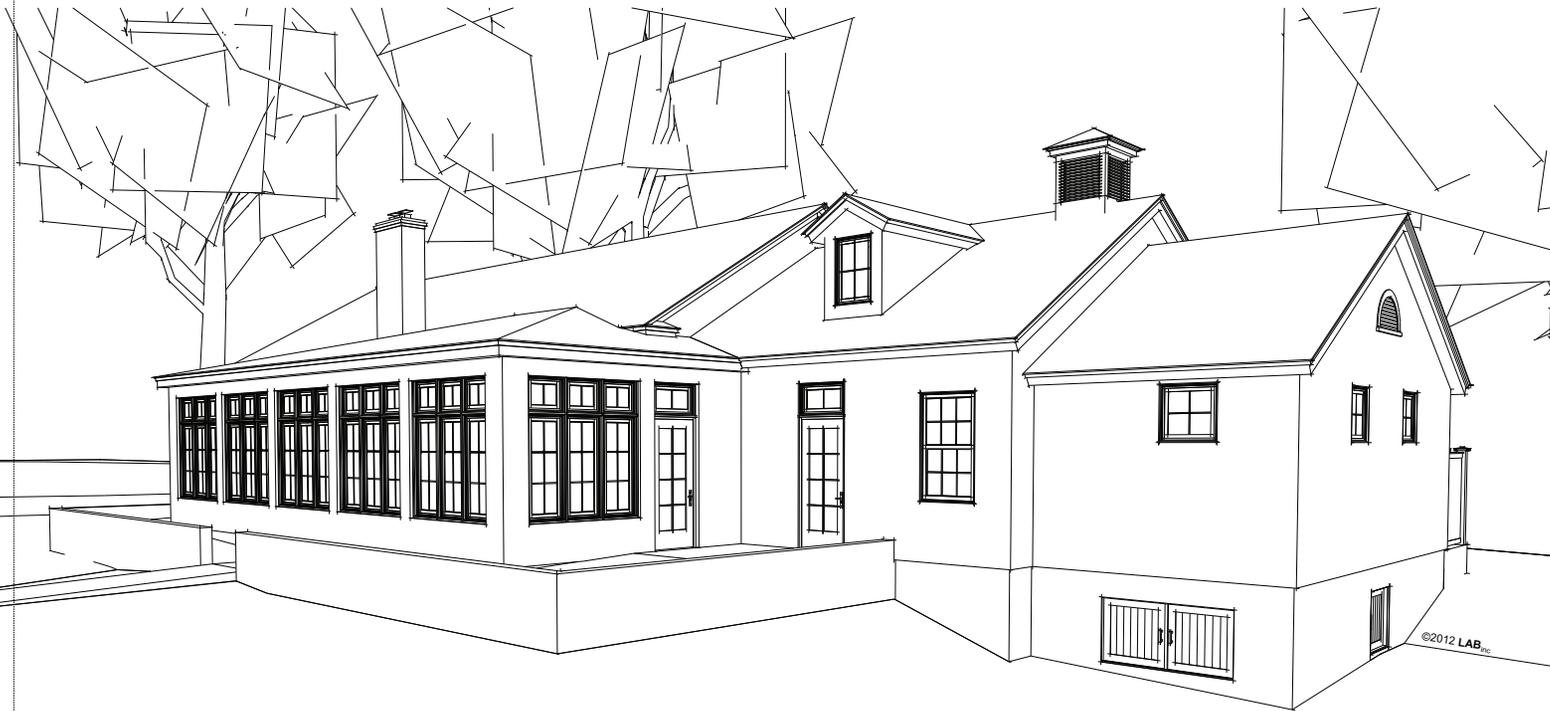
Neubauer Consulting Engineers, P.A.
4701 Sangamore Road, Suite N290
Bethesda MD 20816

MEP Engineers

Provectus, Inc.
50 S. Pickett Street, #116
Alexandria, VA 22304

List of Drawings

- AD.10 Cover Sheet
- LS.10 Landscape Details
- S-1 Foundation Structural Plan
- S-2 Framing Plan
- S-3 Roof Framing Plan
- S-4 Details
- S-5 Details
- H1.10 Historic Drawings
- H1.20 Historic Drawings
- H1.30 Historic Drawings
- H1.40 Historic Drawings
- H1.50 Historic Drawings
- H1.60 Historic Drawings
- H1.70 Historic Drawings
- H1.80 Historic Drawings
- AG.20 General Notes, Definitions & Abbreviations
- AG.30 Code Evaluation
- AG.40 Building Accessibility
- AG.50 Bathroom Accessibility
- D1.10 Demolition Plans
- D2.10 Demolition Elevations
- A1.00 Site Plan
- A1.10 Basement Plan
- A1.20 First Floor Plan
- A1.25 First Floor Dimension Plan
- A1.30 Mezzanine Plan
- A1.40 Roof Plan
- A1.50 First Floor Electrical Plan
- A1.60 First Floor Reflected Ceiling Plan
- A1.70 Signage Plan & Details
- A2.10 North & South Elevations
- A2.20 East & West Elevations
- A2.30 Enlarged Elevations
- A2.40 Enlarged Bathroom Elevations
- A2.50 Enlarged Kitchen Elevations
- A2.60 Enlarged Sun Room Elevations
- A2.70 Enlarged Gallery & Family Bath Elevations
- A2.80 Enlarged Serving Hall Elevations
- A2.90 Enlarged Main Hall Elevations
- A3.10 Building Sections
- A3.20 Wall Sections
- A3.30 Wall Sections
- AA.10 Enlarged Kitchen Plan
- A5.10 Exterior Detail
- A5.20 Exterior Detail
- A5.30 Exterior Detail
- A5.40 Interior Detail
- A5.50 Interior Detail
- A6.10 Room Finish Schedule
- A6.20 Window Schedule
- A6.30 Window Details
- A6.40 Door Schedule
- A6.50 Door Details
- E1.0 Electrical Cover Sheet
- E1.1 Site Plan - Power
- E3.1 Basement Plan - Lighting
- E3.2 First Floor Plan - Lighting
- E3.3 Second Floor Plan - Lighting
- E4.1 Basement Plan - Power
- E4.2 First Floor Plan - Power
- E4.3 Second Floor Plan - Power
- E5.0 Power Riser Diagram & Schedules
- M0.1 Notes & Symbols - Mechanical
- M1.1 Basement Plan - New Work - Mechanical
- M1.2 First Floor Plan - New Work - Mechanical
- M1.3 Loft/Attic Plan - New Work - Mechanical
- M2.1 Schedule & Details - Mechanical
- M2.2 Outside Air Calculations - Mechanical
- P0.1 Symbol List & Notes
- P0.2 Plumbing Schedules
- P1.1 Plumbing Demo Plans
- P2.1 Basement Plan - New Work - Plumbing
- P2.2 First Floor Plan - New Work - Plumbing
- P2.3 Loft/Attic Plan - New Work - Plumbing
- P2.4 Basement Plan - Drainage & Vent - Plumbing
- P2.5 First Floor Plan - Drainage & Vent - Plumbing
- P2.6 Loft/Attic Plan - Drainage & Vent - Plumbing
- P3.1 Plumbing Diagram
- P3.2 Plumbing Diagram
- P3.3 Plumbing Diagram
- P4.1 Plumbing Details



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Lyon Park Community House
414 N Fillmore St - Arlington VA 22201-1622

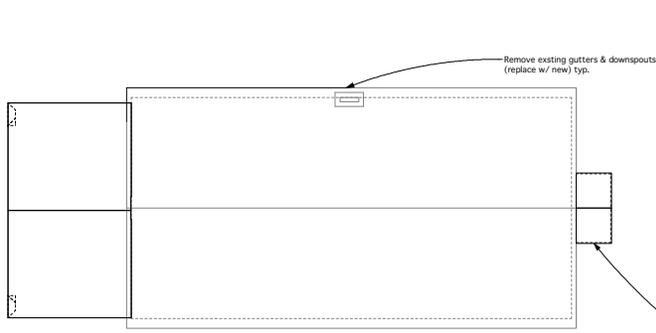
Laboratory for Architecture & Building
2300 9th Street South, Suite M1 Arlington, Virginia 22204-2300 - (703) 769-7646
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Rev. Phas. Cost Est. - 10/20/10
Rev. Cost Est. - 10/20/10
Structural Estimate - 05/04/10
Cost Review - 04/14/10
Program Meeting - 02/26/10
02/26/10
Rev. of Schedule - 02/20/10
Design Dev. - 10/20/10
Design Dev. - 10/20/10
Cost Estimate - 08/20/10
Cost Estimate - 08/20/10
Use Permit - 12/03/11

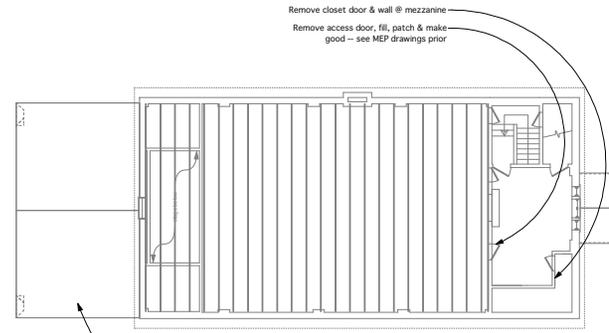
February 15, 2012

cover sheet

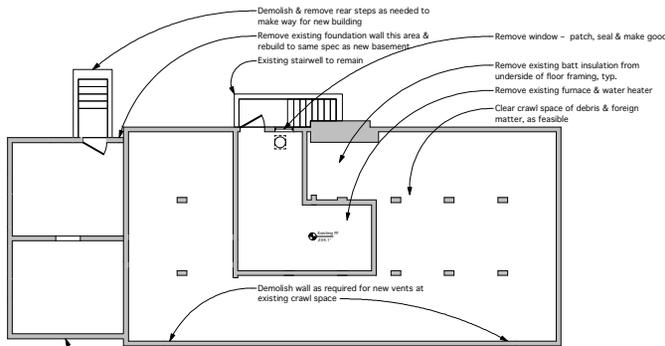
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4 Demolition Roof
Scale: 1/8" = 1'-0"

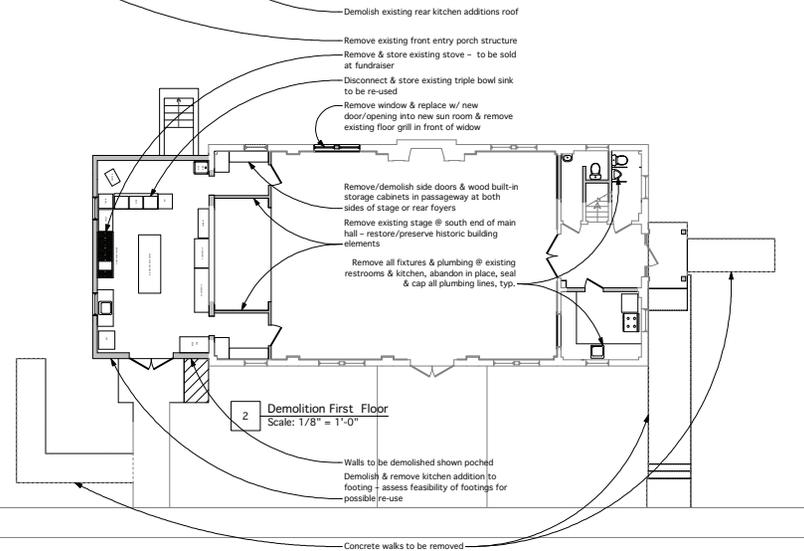


3 Demolition Attic Level
Scale: 1/8" = 1'-0"

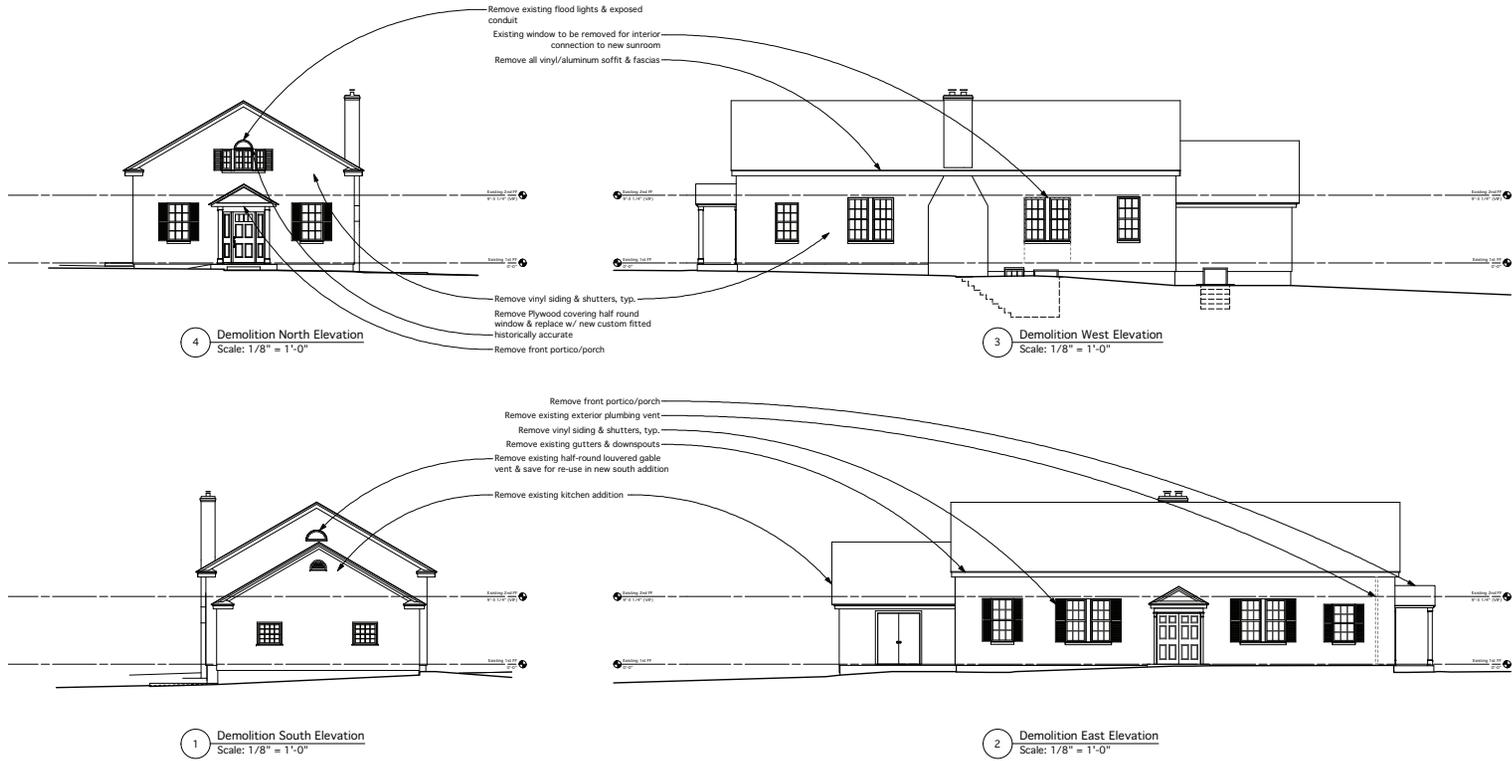


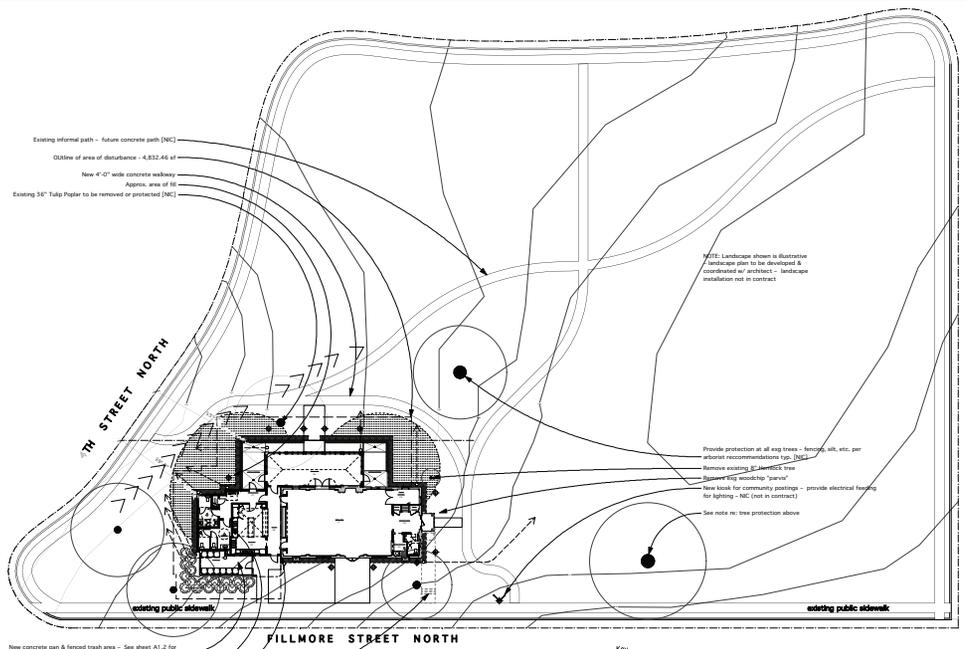
1 Demolition Basement
Scale: 1/8" = 1'-0"

CMU foundation & footing of existing kitchen addition to be removed - see structural drawings



2 Demolition First Floor
Scale: 1/8" = 1'-0"





Existing informal path - future concrete path [NC]
Outline of area of disturbance - 4,832.46 sq ft
New 4'-0" wide concrete walkway
Approx. area of fill
Existing 30" Tulp Paper to be removed or protected [NC]

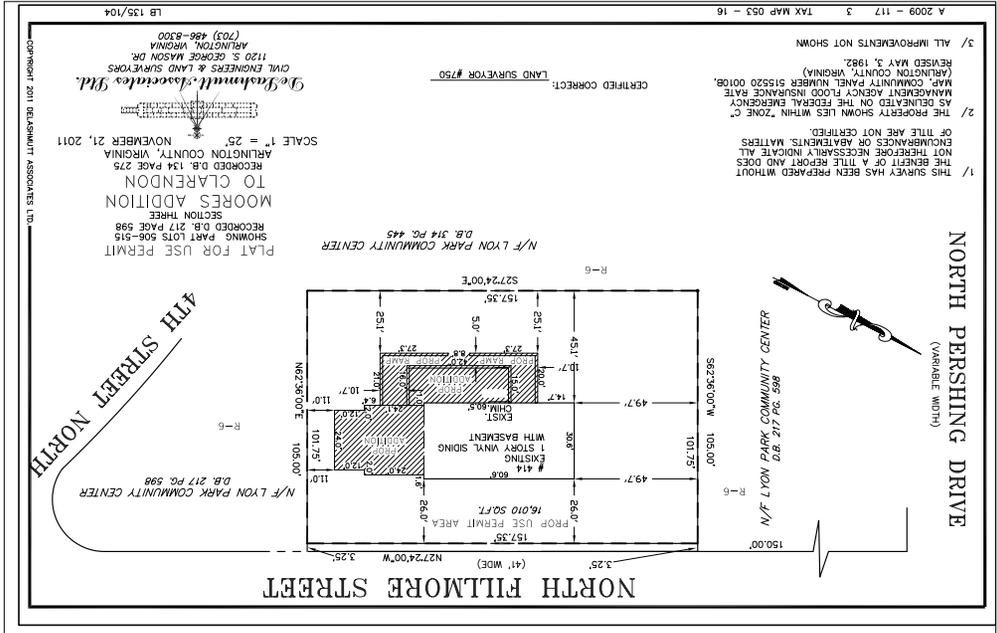
NOTE: Landscape shown is illustrative
Landscape plan to be developed &
coordinated by architect - landscape
installation not in contract

Provide protection of all existing trees - remove, etc. per
arborist recommendations [NC]
Remove existing plantings [NC]
Remove existing "trees"
New look for community postings - provide electrical lighting
for lighting - [NC] (not in contract)
See note re: tree protection above

New concrete path & fenced trash area - See sheet A1.2 for
more detail
Remove existing 12" White Pine in area of new addition
Location of existing electrical meter to remain - service
to be replaced
Remove existing concrete walkway

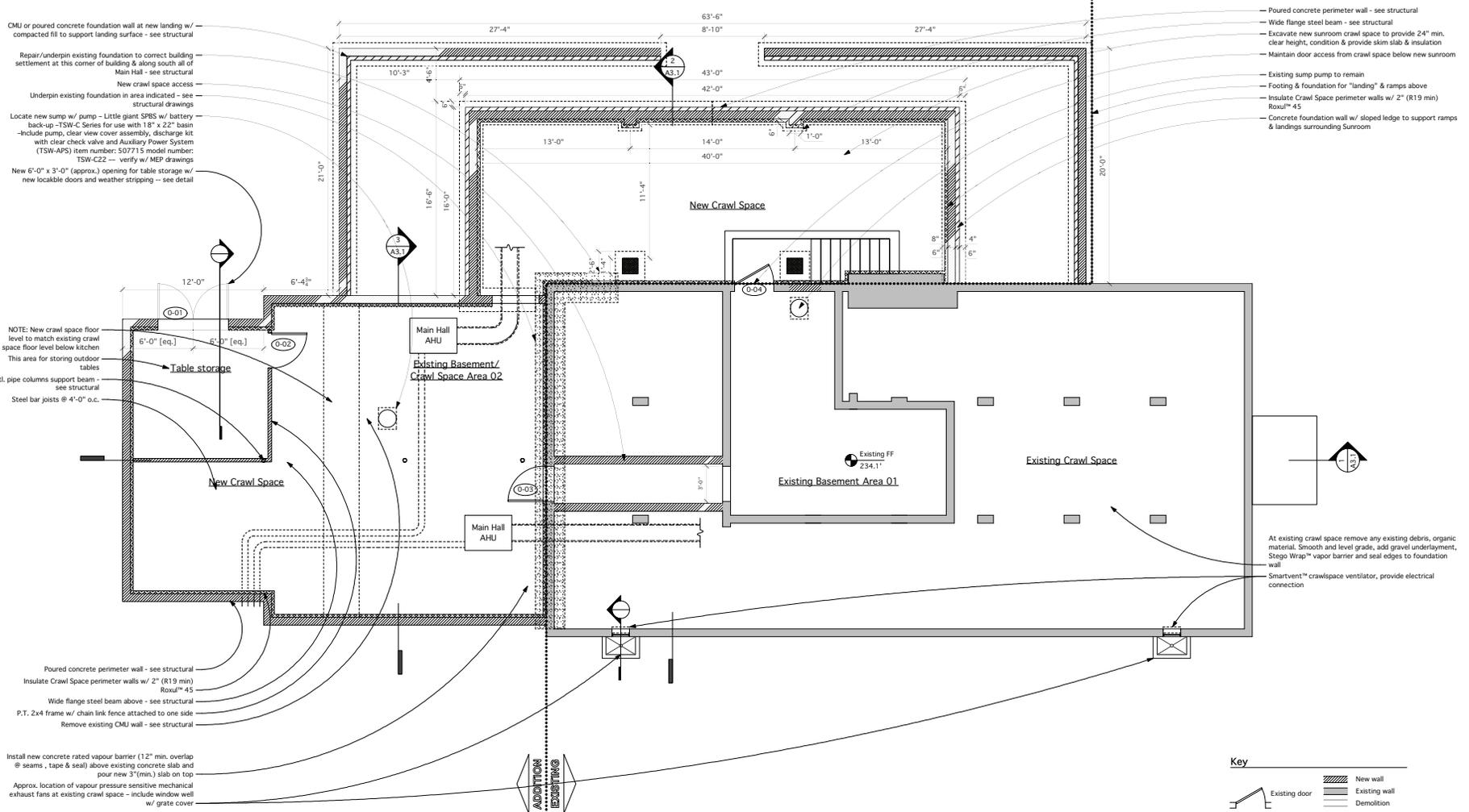
A0.11 Site Plan
1" = 5'-0"

- Key
- New concrete walkways
- New grade mounted lighting at building elevations - linear/light sensor control
- White ground coping to daylight from downspouts, roof drainage
- New grass seed 2'-0" min. wide installed immediately after finish source used to prevent erosion
- Approximate area of build-out related to new grade adjacent to "existing" building

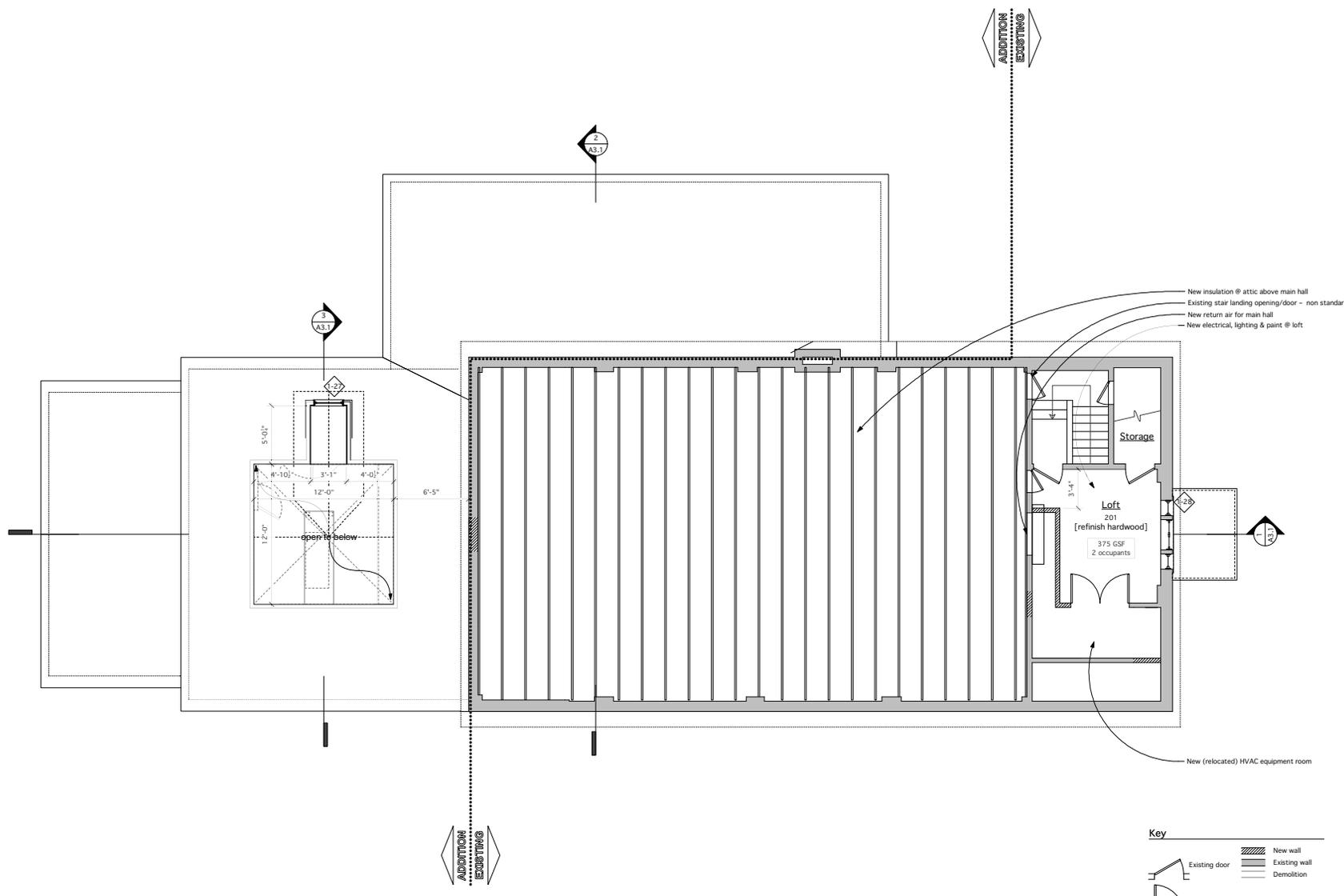


PLAT FOR USE PERMIT
SHOWING PART LOTS 506-515
SECTION THREE
TO CLARENDON
ARLINGTON COUNTY, VIRGINIA
RECORDED D.B. 134 PAGE 275
NOVEMBER 21, 2011
Scale 1" = 25'
LABORATORY FOR ARCHITECTURE & BUILDING
1120 S. GEORGE MASON DR.
ARLINGTON, VIRGINIA
(703) 486-8300
CIVIL ENGINEERS & LAND SURVEYORS
Gresham Associates, Ltd.
CERTIFIED CORRECT
LAND SURVEYOR #750

1/ THIS SURVEY HAS BEEN PREPARED WITHOUT
THE BENEFIT OF A TITLE REPORT AND DOES
NOT THEREFORE NECESSARILY INDICATE ALL
ENCUMBRANCES OR ABATEMENTS MATTERS
OF TITLE ARE NOT CERTIFIED.
2/ THE PROPERTY SHOWN LIES WITHIN ZONE C
AS DETERMINED ON THE FORMAL EMERGENCY
MANAGEMENT AGENCY FLOOD INSURANCE RATE
(ARLINGTON COUNTY, VIRGINIA)
REVISED MAY 3, 1982.
3/ ALL IMPROVEMENTS NOT SHOWN
RECORDED D.B. 314 PG. 445
N/F LYON PARK COMMUNITY CENTER
RECORDED D.B. 217 PG. 598
4TH STREET NORTH
NORTH FILLMORE STREET
NORTH PERSHING DRIVE
(VARIABLE WIDTH)
N/F LYON PARK COMMUNITY CENTER
D.B. 217 PG. 598
TAX MAP 053 - 16
3
A 2009 - 117
10-52-11



A1.1 Basement Floor Level
Scale: 1/4" = 1'-0"



A1.3 Upper Floor Level
Scale: 1/4" = 1'-0"

Notes
AHU 2 & AHU 3 may be combined into single unit pending MEP analysis

Key

- New wall
- Existing wall
- Demolition
- Existing door
- New door



Lyon Park Community House
414 N Fillmore St - Arlington VA 22201-1622

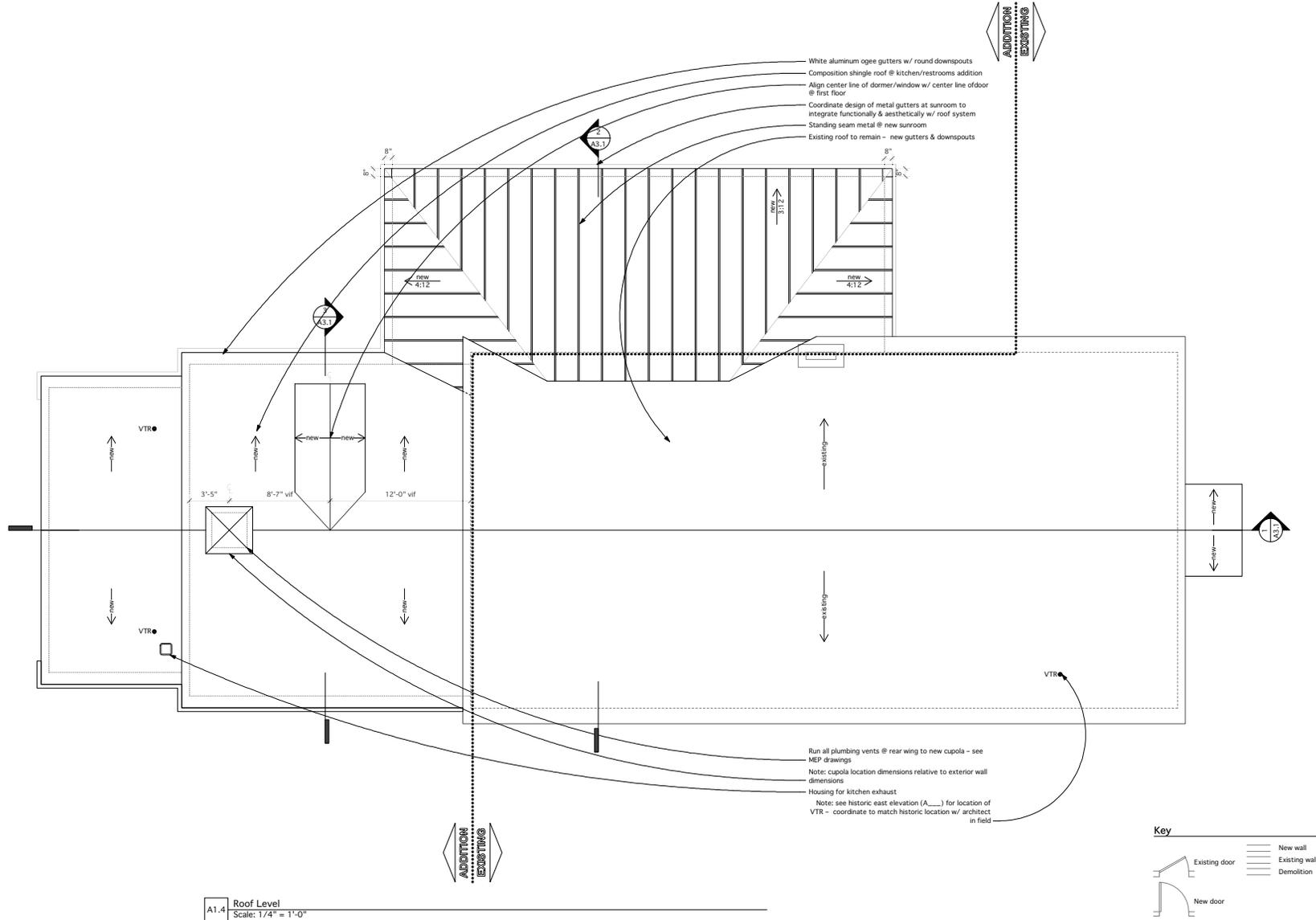
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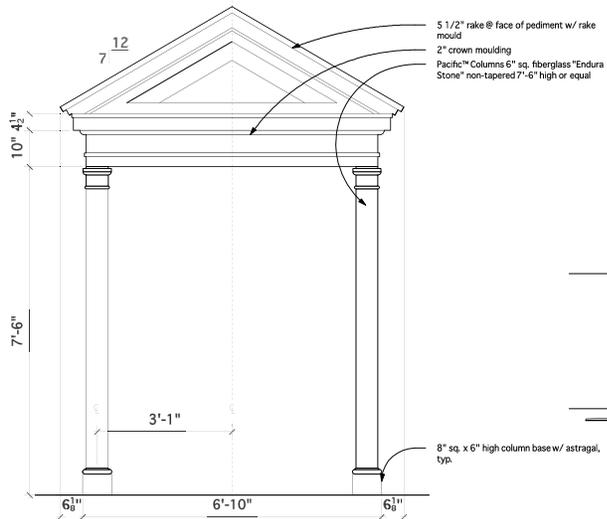
Rev. Perm. Cost Est. - 1/20/2010
Arch. Cost Est. - 1/20/2010
Structural Estimate - 05/01/2010
Cost Review - 05/01/2010
Program Meeting - 05/05/2010
Rev. of Estimate - 08/20/2010
Design Dev. - 10/15/2010
Design Dev. - 10/20/2010
Cost Estimate - 10/20/2010
Cost Review - 04/02/2011
Use Permit - 1/20/2011

February 15, 2012

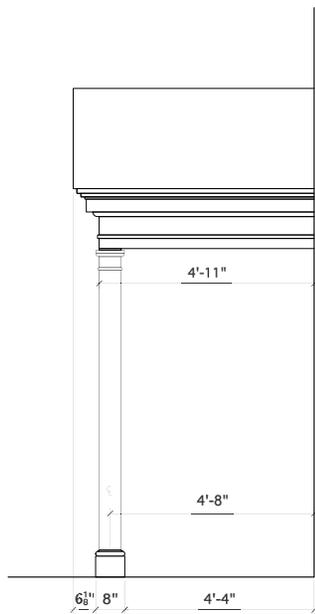
roof plan

A1.40





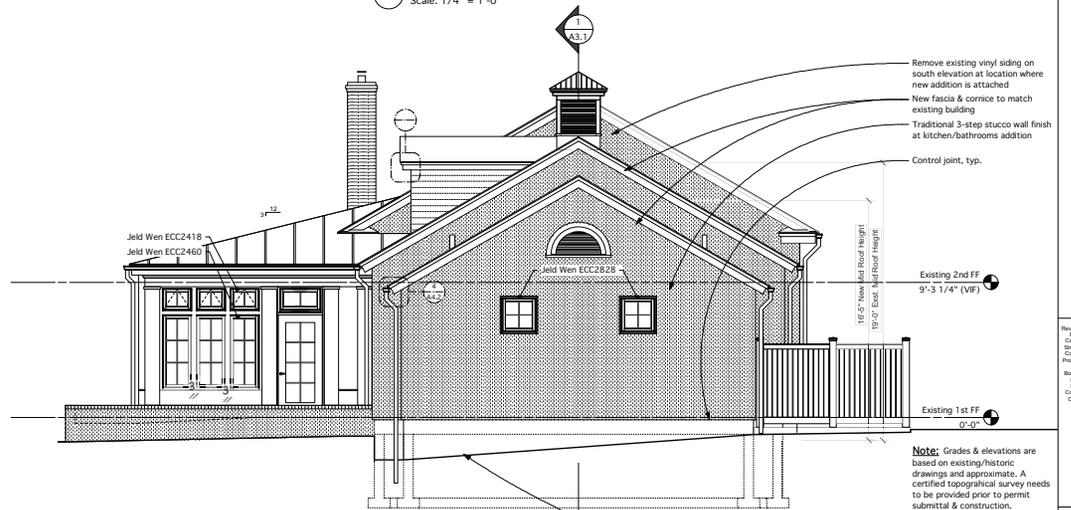
3 North Portico Detail Elevation
Scale: 3/4" = 1'-0"



4 West Portico Detail Elevation
Scale: 3/4" = 1'-0"



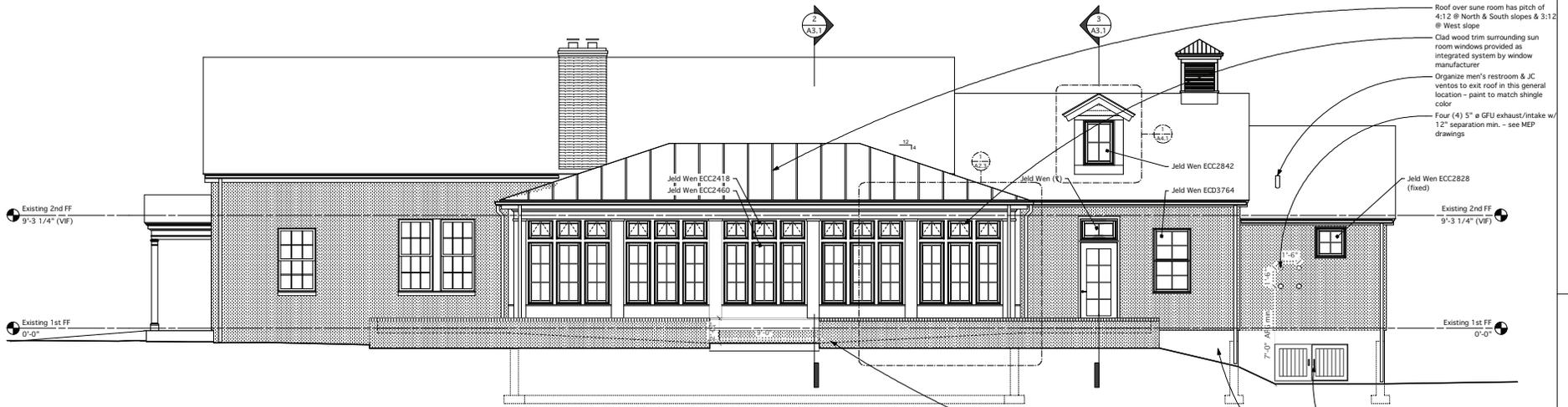
1 North Elevation
Scale: 1/4" = 1'-0"



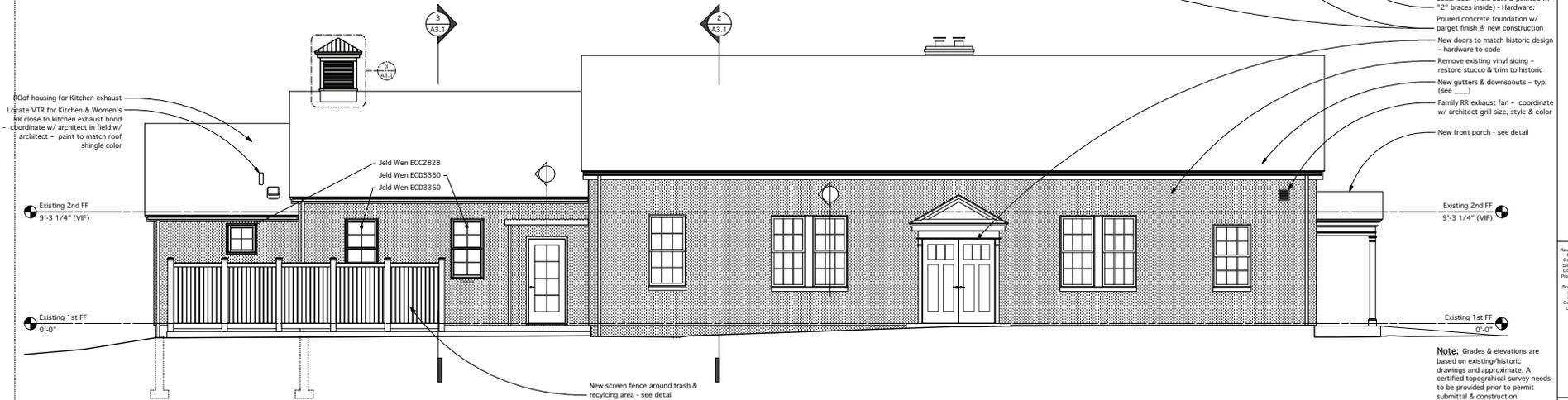
2 South Elevation
Scale: 1/4" = 1'-0"

Note: Grades & elevations are based on existing/historic drawings and approximate. A certified topographical survey needs to be provided prior to permit submittal & construction.

Poured concrete foundation w/ parged finish, typ. - see structural drawings for foundation wall details

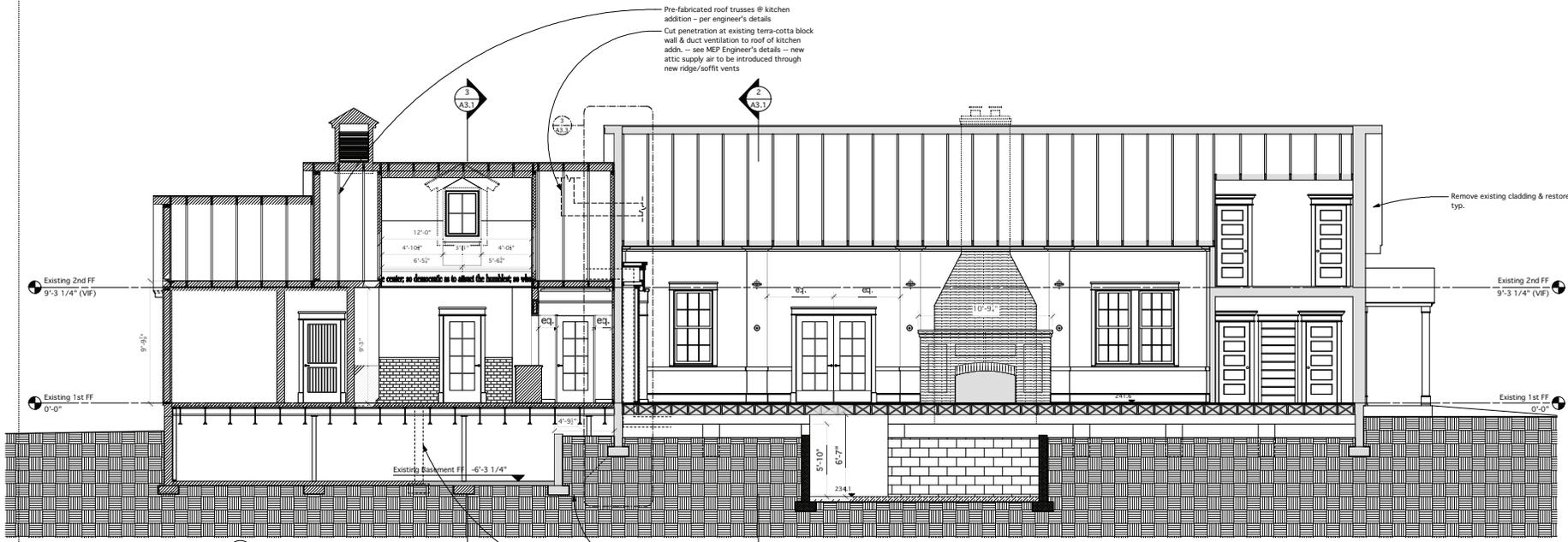


1 LPCH - Cost Estimate West Elevation
Scale: 1/4" = 1'-0"

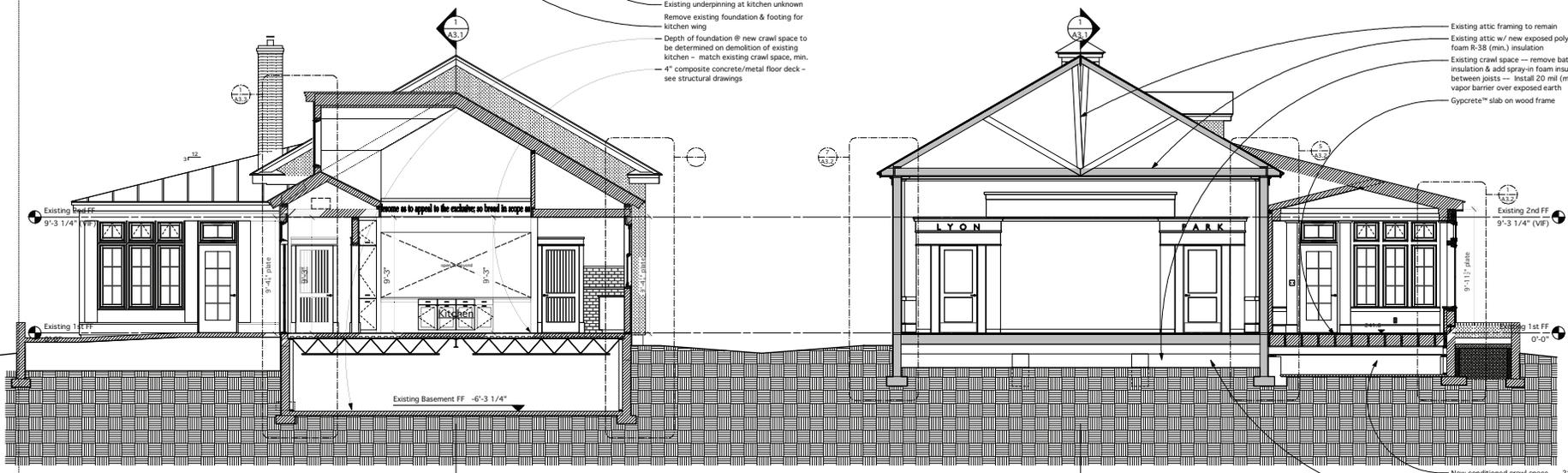


2 LPCH - Cost Estimate East Elevation
Scale: 1/4" = 1'-0"

Note: Grades & elevations are based on existing/historic drawings and approximate. A certified topographical survey needs to be provided prior to permit submittal & construction.



1 Building Longitudinal Section - West
Scale: 1/4" = 1'-0"



3 Kitchen Cross Section - North
Scale: 1/4" = 1'-0"

2 Main Hall Cross Section - South
Scale: 1/4" = 1'-0"

Pre-fabricated roof trusses @ kitchen addition - per engineer's details
Cut penetration at existing terra-cotta block wall & duct ventilation to roof of kitchen addn. - see MEP Engineer's details - new attic supply air to be introduced through new ridge/soffits vents

Remove existing cladding & restore soffit, typ.

Existing underpinning at kitchen unknown
Remove existing foundation & footing for kitchen wing
Depth of foundation @ new crawl space to be determined on demolition of existing kitchen - match existing crawl space, min. 4" composite concrete/metal floor deck - see structural drawings

Existing attic framing to remain
Existing attic w/ new exposed polystyrene foam R-38 (min.) insulation
Existing crawl space - remove batt insulation & add spray-in foam insulation in between joists - Install 20 mil (min.) poly vapor barrier over exposed earth
Gyproc® slab on wood frame

New conditioned crawl space - 28'2" tall
Existing crawl space to remain unconditioned w/ added moisture control equipment & ventilation



HISTORICAL AFFAIRS AND LANDMARK REVIEW BOARD

Courthouse Plaza One 2100 Clarendon Boulevard, Suite 700 Arlington, VA 22201

TEL 703.228.3830 FAX 703.228.3834 www.arlingtonva.us

February 21, 2012

Mrs. Mary Hynes, Chairman and
Members of the County Board
2100 Clarendon Boulevard, Suite 300
Arlington, Virginia 22201

Dear Mrs. Hynes:

At our regular monthly public hearing on Wednesday, February 15, 2012 the Arlington County Historical Affairs and Landmark Review Board (HALRB) discussed the proposed new construction and rehabilitation plans for the Lyon Park Community House. The importance of this structure to the Lyon Park community cannot be overstated. A brief excerpt from the neighborhood's National Register Nomination (2003) shows how it was central to both the planning and marketing of the neighborhood in the 1920s:

The residential neighborhood of Lyon Park was laid out around a central park consisting of two-and-a-half acres. A joint effort by the community, represented by the Lyon Park Community Association, and Lyon and Fitch, Inc. resulted in the construction of a community house along North Fillmore Street, on the northeast side of the park lot. The building was completed in 1925.

The Lyon Park Citizen's Association oversaw construction of the community house. Funds were collected from the neighborhood and individuals who donated \$25 or more became life-time members of the Lyon Park Community Center Committee. The committee's motto in their original constitution read: "A social, civic and recreative center; so democratic as to attract the humblest; so wholesome as to appeal to the exclusive; so broad in scope as to bring youth, maturity and old age into closer companionship to the benefit of all."

By the winter of 1924, construction had begun but was halted because of rising construction costs. A fair, held in the summer of 1925, raised the \$800 needed for the completion of the building. The Lyon Park Community Association has continuously owned the building and maintained the surrounding parkland. The building served many purposes in the history of the community. The Lyon Park Community Center Committee and the Lyon Park Citizen's Association sponsored dances and community fund-raisers at the community center. The center also was used by neighborhood and county-wide organizations, such as a meeting hall for local churches waiting for permanent buildings, and the Lyon Park Women's Club (formed 1924), which worked to improve social conditions in the Lyon Park neighborhood.

The HALRB would like to commend the Building Committee and the project architects. The proposed new construction and alterations will both preserve and enhance this important community resource. The HALRB felt that this project embodied the preservation principles of retaining the important historic characteristics of the property. The new additions, exterior alterations, and related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

This structure has been well protected by the Lyon Park community for nearly 90 years, and the HALRB unanimously supports the proposed new construction and renovation plans. The residents of Lyon Park deserve credit for their role as faithful stewards of Arlington's architectural heritage.

Sincerely,

A handwritten signature in cursive script that reads "Chris Wilson".

Chris Wilson
Chairman

cc: Members of Planning Commission
Members of HALRB



LYON PARK CITIZENS ASSOCIATION

414 North Fillmore Street ☞ Arlington, VA 22201 ☞ www.lyonparkcitizens.org

February 20, 2012

Arlington County Board
2100 Clarendon Boulevard
Arlington, VA 22201

Dear Arlington County Board Members:

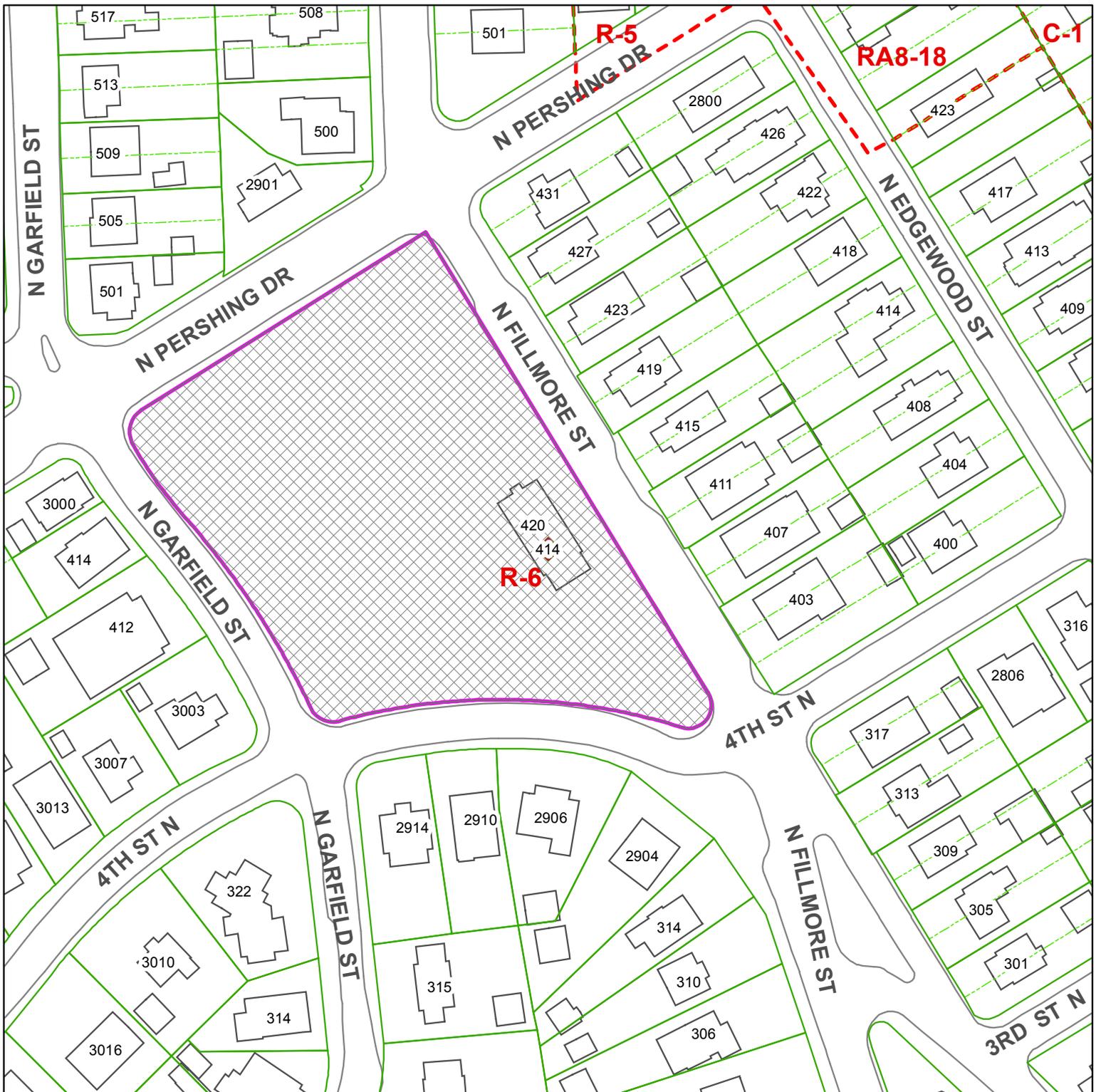
The Lyon Park Citizens Association (LPCA) asks for your support of the renovation and expansion of the Lyon Park Community House. Since the 1920's the Community House and Park have been important focal points for our neighborhood. The proposed plan builds on the foundation bestowed by our predecessors by providing needed upgrades and improvements while respecting the historic context of the existing building and preserving our beloved Park.

This project is the result of comprehensive and robust community involvement that included numerous public meetings including a design workshop. An extraordinary level of volunteerism and neighborhood participation provided needed project guidance and ultimately led to a design that reflects the desires of the Lyon Park community. The outcome of the open, consensus-based process will result in a beautiful renovation that will provide upgrades to bring the building in compliance with ADA requirements and extend the service life of the facility well into the future, all while maintaining current use and occupancy limits. The LPCA has endorsed the project as exemplified by providing \$50,000 to the building renovation fund.

As an extension of its support for the project, the LPCA would like the project to move forward as soon as possible and recognizes that the current request by the Lyon Park Community Center Board of Governors for a Use Permit with a waiver for the parking requirement is an important step in doing so. Your support of the Lyon Park neighborhood is greatly appreciated.

Sincerely,

Elliott D. Mandel
President
Lyon Park Citizens Association



U-3325-12-1

414 N. Fillmore Street

RPC# 18-050-001



 Case Location(s)
 Scale: 1:1,200

Note: These maps are for property location assistance only. They may not represent the latest survey and other information.